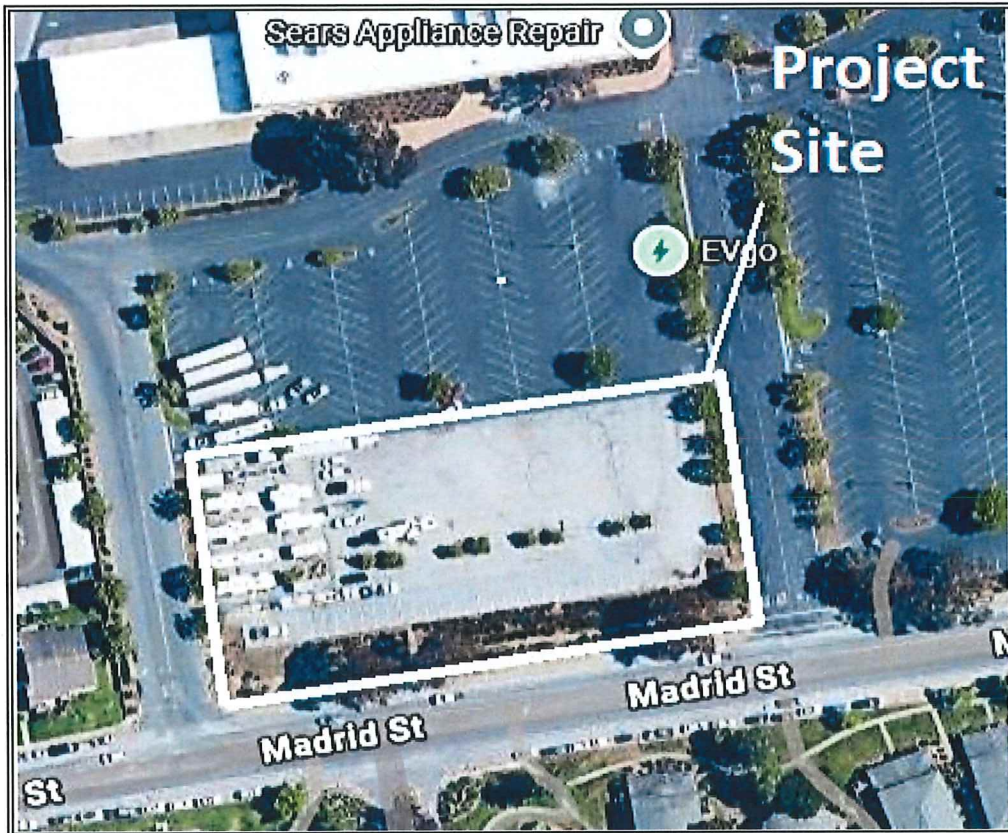


North

Vicinity Map



PLANNED UNIT DEVELOPMENT PERMIT 2025-002 1340 Northridge Mall

Exhibit A

PRIVATE ENGINEER'S CIVIL CONSTRUCTION NOTES (CONT.)

DESIGN ENGINEER NOTES

[illegible]

REVISIONS

DATE	BY	DESCRIPTION

DATE **BY**

NAME **DATE**

CITY **ENGINEER**

STATE **ZIP**

RECOMMENDED BY:

CALL BEFORE YOU DIG

811

1-800-227-2800

SEAL - ENGINEER

CITY OF SALINAS

ENGINEERING DEPARTMENT

DATE **BY**

NAME **DATE**

CITY **ENGINEER**

STATE **ZIP**

RECOMMENDED BY:

CALL BEFORE YOU DIG

811

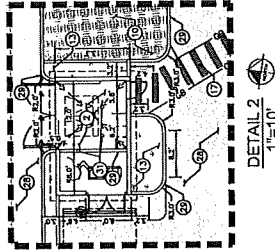
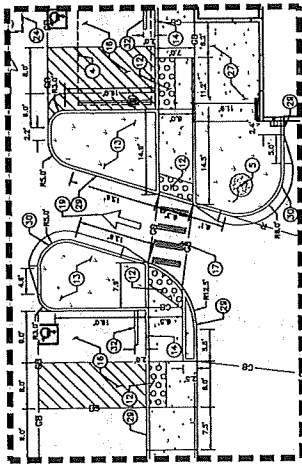
1-800-227-2800

LEGEND

PROPERTY LINE	---
EASEMENT	---
CVL. UNITS OF WORK	---
SIGN POST	---
ACCESSIBLE ROUTE	---
LOCATION PURPOSES ONLY, DO NOT PAINT	---
DIURNAL VISIBILITY	---
STANDARD DUTY CONCRETE SIDEWALK	---
HEAVY DUTY CONCRETE PAVEMENT	---
PROPOSED LANDSCAPE AREA	---
DETECTABLE WARNING	---

CONSTRUCTION NOTES

1. NEW VACUUM ENCLOSURE PER ARCHITECTURAL PLANS UNDER SEPARATE PERMIT.
2. NEW COMBINED TRASH AND VACUUM ENCLOSURE PER ARCHITECTURAL PLANS UNDER SEPARATE PERMIT.
3. PAY STATION GANGWAY PER ARCHITECTURAL PLANS UNDER SEPARATE PERMIT.
4. VACUUM GANGWAY PER ARCHITECTURAL PLANS UNDER SEPARATE PERMIT.
5. FLAG POLE PER ARCHITECTURAL PLANS.
6. QUICK QUICK SPEEDING TRASH CAN PER ARCHITECTURAL PLANS UNDER SEPARATE PERMIT.
7. NEW BIKE RACK/LOCKER PER ARCHITECTURAL PLANS UNDER SEPARATE PERMIT.
8. QUICK QUICK MENU BOARD. REFER TO SIGN DRAWINGS UNDER SEPARATE PERMIT.
9. INSTALL 2" CURB CUT PER DETAIL 11, SHEET 15.
10. INSTALL BIRKENTHON PLANTER PER DETAIL 1, SHEET 16.
11. STOP/GO SIGN. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.
12. INSTALL CAST-IN-PLACE DETECTABLE WARNING SYSTEM (TRUNCATED DOWNS) PER ANCHOR TILE - 36" X 48" PANEL. PRODUCT NO. ADA-C-3848W PER DETAIL 4, SHEET 14.
13. LANDSCAPE/PLANTED AREA. REFER TO LANDSCAPE PLANS FOR MORE INFORMATION.
14. INSTALL VAN ACCESSIBLE PARKING STALL SIGN PER DETAIL 1, SHEET 14. SINGLE BASE SIGN POST PER DETAIL 2, SHEET 14.
15. INSTALL PARKING SIGN PER DETAIL 3, SHEET 14. INSTALL CAST-IN-PLACE DETECTABLE WARNING (TRUNCATED DOWNS) PER ANCHOR TILE - 36" X 48" PANEL. PRODUCT NO. ADA-C-3848W PER DETAIL 4, SHEET 14.
16. INSTALL ACCESSIBLE PARKING STALL STRIPING AND ACCESSIBLE PARKING SYMBOL PER DETAIL 5, SHEET 14.
17. INSTALL PART OF TRAIL STRIPING PER DETAIL 6, SHEET 14.
18. INSTALL 80" VACUUM PARKING STALL STRIPING WITH THE FOLLOWING DIMENSIONS: 4" WIDE WHITE STRIP, 20 MILL THICKNESS. METHYL METHACRYLATE PAINT OR APPROVED EQUAL.
19. INSTALL PARKING MARKINGS AS SHOWN. PAINT SHALL BE WHITE IN COLOR. 20 MILL MIN THICKNESS. METHYL METHACRYLATE PAINT OR APPROVED EQUAL. ALL MARKINGS, ARROWS AND SYMBOLS SHALL BE PER SPINING STD. PLAN 171-0.
20. INSTALL QUICK QUICK GUESS STRIPING AS FOLLOWS: 4" WIDE WHITE STRIP, 20 MILL MIN THICKNESS. METHYL METHACRYLATE PAINT OR APPROVED EQUAL.
21. INSTALL 80" PARKING STRIP PER DETAIL 7, SHEET 14.
22. INSTALL ACCESSIBLE PATH SIGN PER DETAIL 8, SHEET 14.
23. INSTALL "UNAUTHORIZED VEHICLE" PARKING SIGN PER DETAIL 9, SHEET 14.
24. INSTALL TRENCH DRAIN PER DETAIL 10, SHEET 14.
25. INSTALL CHAIR. REFER TO UTILITY SHEET 10 FOR MORE INFORMATION.
26. INSTALL METER AND BACKFLOW PREVENTOR. REFER TO UTILITY PLAN SHEET 10 FOR MORE INFORMATION.
27. CONSTRUCT STANDARD DUTY SIDEWALK CONCRETE PER DETAIL 11, SHEET 14.
28. CONSTRUCT HEAVY DUTY CONCRETE PAVEMENT PER DETAIL 11, SHEET 14.
29. CONSTRUCT CURB PER DETAIL 12, SHEET 14. HEIGHT PER GRADING PLAN.
30. CONSTRUCT 4" ROLLED CURB PER DETAIL 1, SHEET 15.
31. INSTALL NEW 4" DOLLARD PER DETAIL 2, SHEET 15.
32. INSTALL WHEEL STOP PER DETAIL 3, SHEET 15.
33. CONSTRUCTION AND CONTROL JOINT PER DETAIL 8, SHEET 15.
34. JOIN AT EXISTING CURB/CURB AND GUTTER.
35. CONSTRUCT EARTHEN SWALE PER DETAIL 10, SHEET 15.
36. CONSTRUCT RIBBON CUTTER PER DETAIL 2, SHEET 16.



SHEET NO.
4
2 OF 18
PROJECT NO.

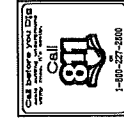
CITY OF SALINAS
ENGINEERING DEPARTMENT
QUICK QUACK CAR WASH #33-070
NORTHBRIDGE SHOPPING CENTER
SITE PLAN DETAILS

301 UNIVERSITY AVE. SUITE 300
SALINAS, CA 94589
WWW.KIMLEY-HORN.COM
DESIGNED BY: J. H. HORN
CHECKED BY: J. H. HORN
DATE: 5/25/2023



CITY OF SALINAS
ENGINEERING DEPARTMENT
NAME: J. H. HORN
DATE: 5/25/2023
RECOMMENDED BY:

REVISIONS	DATE	BY	APPROVED
1. SHEET			
2. DESCRIPTION			



GRAPHIC SCALE IN FEET
1" = 20'
PRINTED AT FULL SIZE
DATE: 5/25/2023

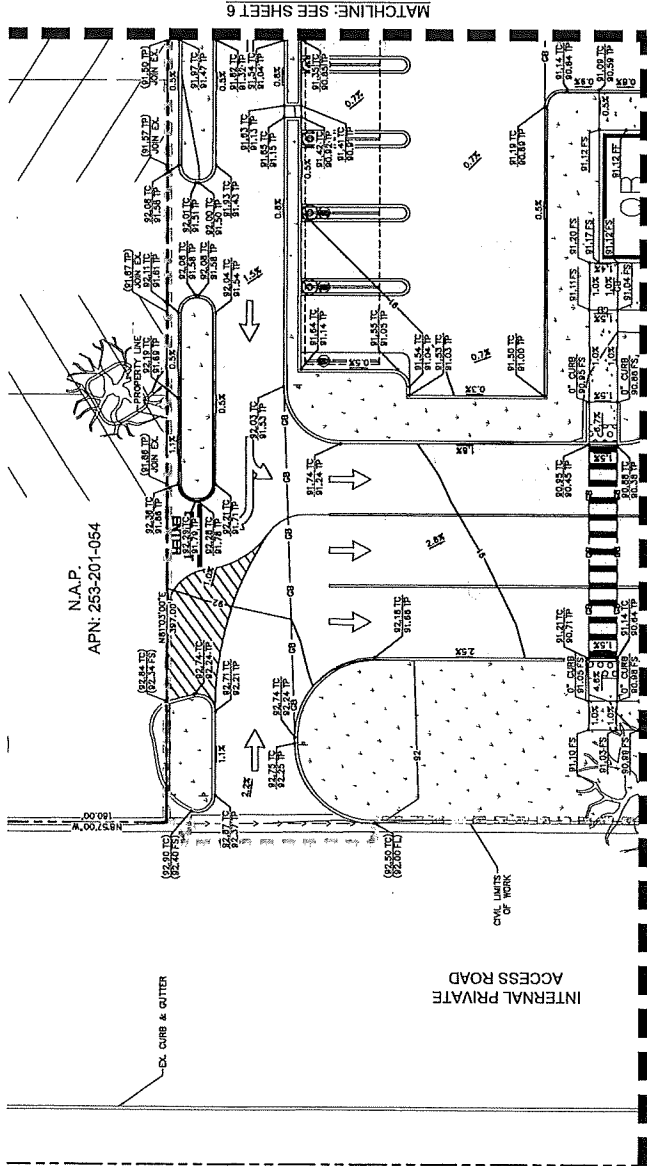
Exhibit F

LEGEND

- PROPERTY LINE
- CIVIL LIMITS OF WORK
- DEPRESSED FLOW LINE/SWALE
- SLOPE
- PROPOSED ELEVATION
- EXISTING ELEVATION
- STANDARD DUTY CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED LANDSCAPE AREA
- DETECTABLE WARNING

NOTE

- GENERAL CONTRACTOR TO ENSURE FAD ELEVATION IS
- ENGINEERED PRIOR TO CHANGING OF THE SITE.
- EXISTING ELEVATIONS AND FINISH FLOOR ELEVATIONS VARY WITHIN
- THE TUNNEL



MATCHLINE: SEE SHEET 7

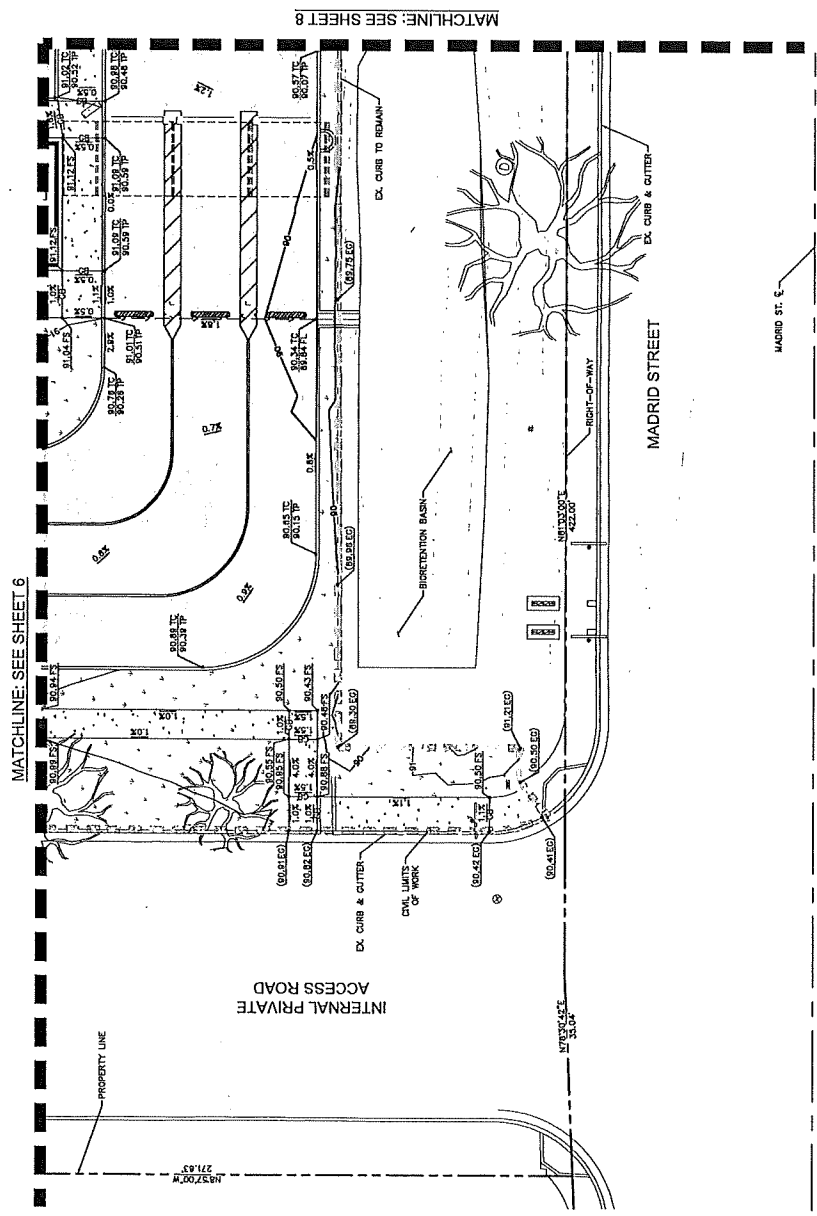
		CITY OF SALINAS ENGINEERING DEPARTMENT QUICK QUACK CAR WASH #33-070 NORTHBRIDGE SHOPPING CENTER GRADING PLAN		SHEET NO. 5 of 18								
SEAL - ENGINEER 		Kimley-Horn 3801 UNIVERSITY AVE. SUITE 300 SAN JOSE, CA 95134 PHONE (408) 544-2888 WWW.KIMLEY-HORN.COM DESIGNED BY: J.L. CHECKED BY: J.L. R.C.E. NO. 14573 DATE 12/22/2022		PROJECT NO. 14573								
REVISIONS <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>		NO.	DATE	BY	DESCRIPTION	1				NAME CITY ENGINEER NAME DATE RECOMMENDED BY:		DATE
NO.	DATE	BY	DESCRIPTION									
1												
		CITY OF SALINAS ENGINEERING DEPARTMENT		DATE								

LEGEND

- PROPERTY LINE
- C&G LIMITS OF WORK
- EXPRESSED FLOW LINE/VALVE
- SAWTOOTH
- SLOPE
- PROPOSED ELEVATION
- EXISTING ELEVATION
- STANDARD DUTY CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED LANDSCAPE AREA
- DETECTABLE WARNING

NOTE

CONTRACTOR TO CHECK AND REVISION IS
 COORDINATED WITH CIVIL ENGINEER AND STRUCTURAL
 ENGINEER PRIOR TO GRADING OF THE SITE.
 ELEVATIONS AND PRIOR FLOOR ELEVATIONS VARY WITHIN
 THE TUNNEL.



SHEET NO.
 7 of 18
 PROJECT NO.

CITY OF SALINAS
 ENGINEERING DEPARTMENT
 QUICK QUACK CAR WASH #33-070
 NORTHBRIDGE SHOPPING CENTER
 GRADING PLAN

DESIGNED BY: J.L. HORN
 CHECKED BY: J.L. HORN
 DATE: 12/22/2023
 SCALE: 1" = 20'

SEAL - ENGINEER
 CITY OF SALINAS
 ENGINEERING DEPARTMENT
 NAME: J.L. HORN
 REG. NO.: 12202
 DATE: 12/22/2023

REVISIONS	DATE	BY	DESCRIPTION
1	12/22/2023	J.L. HORN	ISSUED FOR PERMIT

GRAPHIC SCALE IN FEET
 0 10 20
 1" = 20'

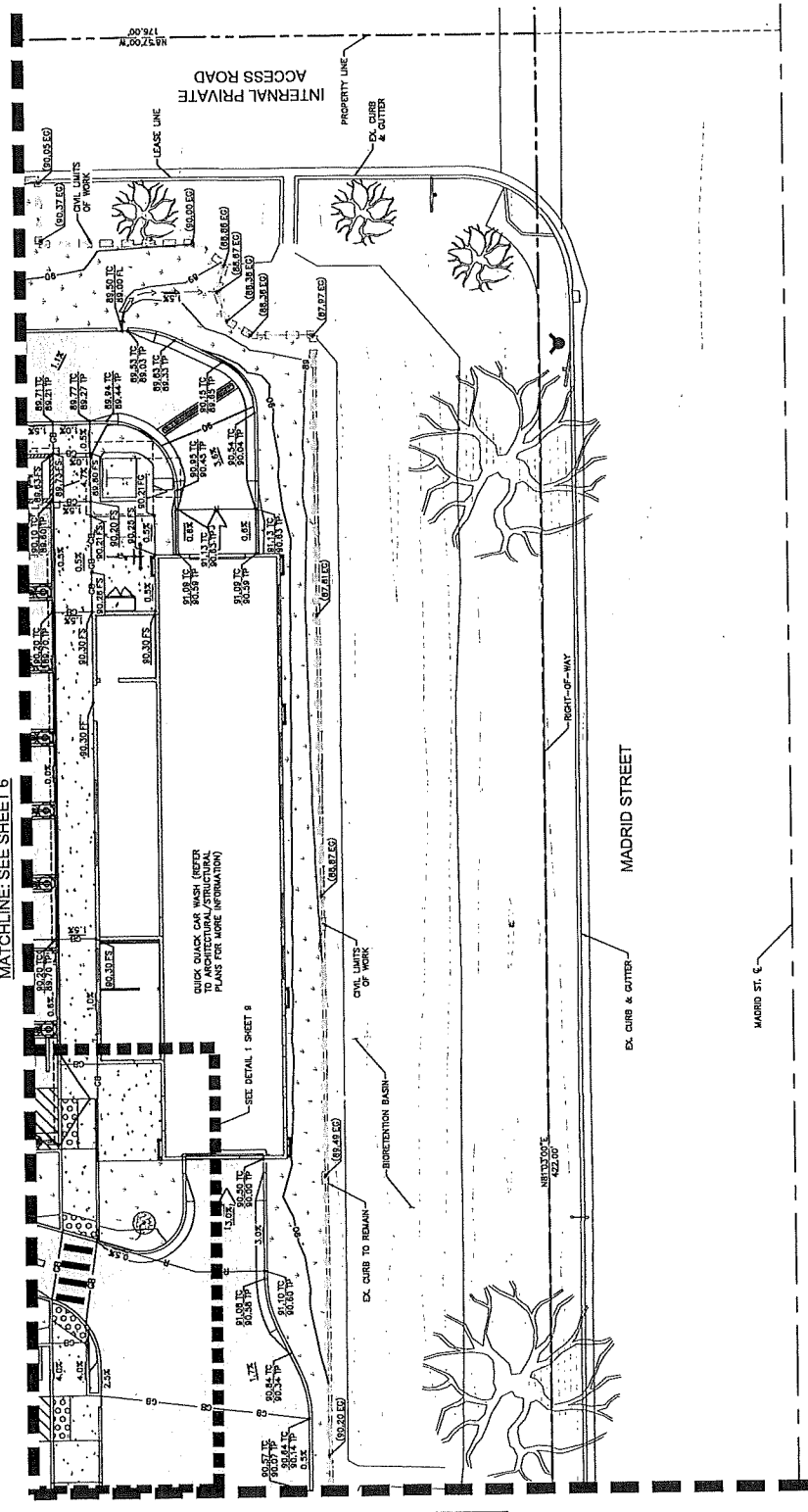
LEGEND

- PROPERTY LINE
- CIVIL LIMITS OF WORK
- DEPRESSED FLOW LINE/SWALE
- SEWAGE
- SLOPE
- PROPOSED ELEVATION
- EXISTING ELEVATION
- STANDARD DUTY CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED LANDSCAPE AREA
- DETECTABLE WARNING

NOTE

- GENERAL CONTRACTOR TO DISCUSS FAS ELEVATION IS
- CONSIDERED TO BE THE FINISH GRADE FOR ALL STRUCTURAL
- WORK PRIOR TO GRADING OF THE SITE.
- FAS ELEVATIONS AND FINISH FLOOR ELEVATIONS VARY WITHIN
- THE TOLERANCE.

MATCHLINE: SEE SHEET 6



MATCHLINE: SEE SHEET 7

SHEET NO.

8 of 18

PROJECT NO.

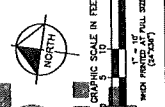
CITY OF SALINAS
ENGINEERING DEPARTMENT
QUICK QUACK CAR WASH #33-070
NORTHBRIDGE SHOPPING CENTER
GRADING PLAN

Kimley-Horn
3851 UNIVERSITY AVE. SUITE 300
RIVERSIDE, CA 92504
PH: 951-504-7000
WWW.KIMLEY-HORN.COM
DESIGNED BY: J.E. CHECKED BY: J.E.
SUPERVISOR: J.E. DATE: 5/22/2025
SCALE: AS SHOWN



REVISIONS
DATE BY DESCRIPTION
1 05/22/25 J.E. 1.000000
2 05/22/25 J.E. 1.000000
3 05/22/25 J.E. 1.000000
4 05/22/25 J.E. 1.000000
5 05/22/25 J.E. 1.000000
6 05/22/25 J.E. 1.000000
7 05/22/25 J.E. 1.000000
8 05/22/25 J.E. 1.000000
9 05/22/25 J.E. 1.000000
10 05/22/25 J.E. 1.000000

Cell
1-800-227-2800
1-800-227-2800



Exhibit

J

LEGEND

PROPERTY LINE
CIVIL LIMITS OF WORK
DEPRESSED FLOW LINE/PAVE
SLOPE
SLOPE

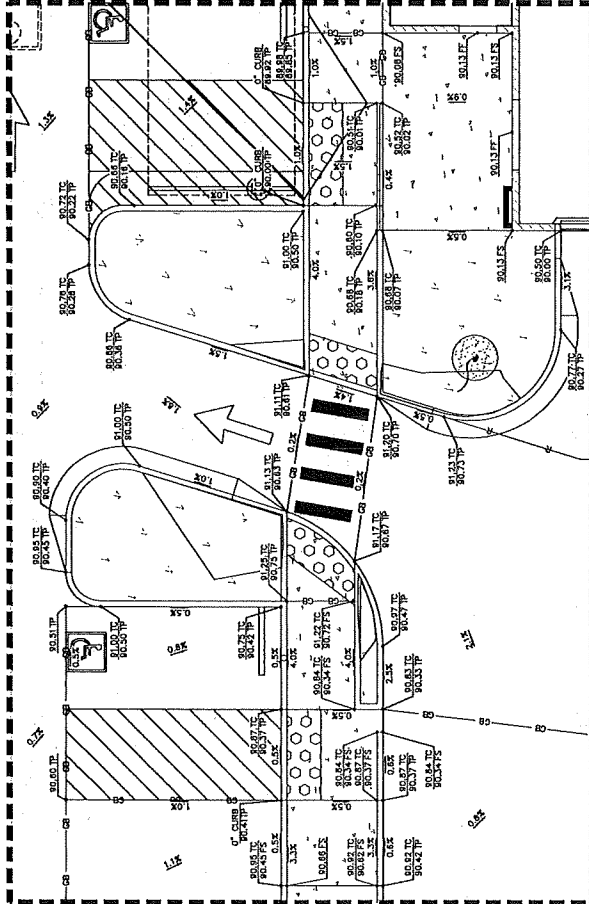
PROPOSED ELEVATION

EXISTING ELEVATION

STANDARD DUTY CONCRETE SIDEWALK
HEAVY DUTY CONCRETE PAVEMENT
PROPOSED LANDSCAPE AREA
DETECTABLE WARNING

NOTE

- ELEVATION CONTRACTING TO ENGINEER HAS ELEVATION IS
- ENGINEER PRIOR TO GRADING OF THE SITE
- ELEVATION CONTRACTING TO ENGINEER HAS ELEVATION IS
- ENGINEER PRIOR TO GRADING OF THE SITE
- ELEVATION CONTRACTING TO ENGINEER HAS ELEVATION IS
- ENGINEER PRIOR TO GRADING OF THE SITE



DETAIL 1
1"=5'



REVISIONS	DATE	BY	APPROVED

CITY OF SALINAS
ENGINEERING DEPARTMENT
NAME
CITY ENGINEER
REC. DATA
RECOMMENDED BY
DATE



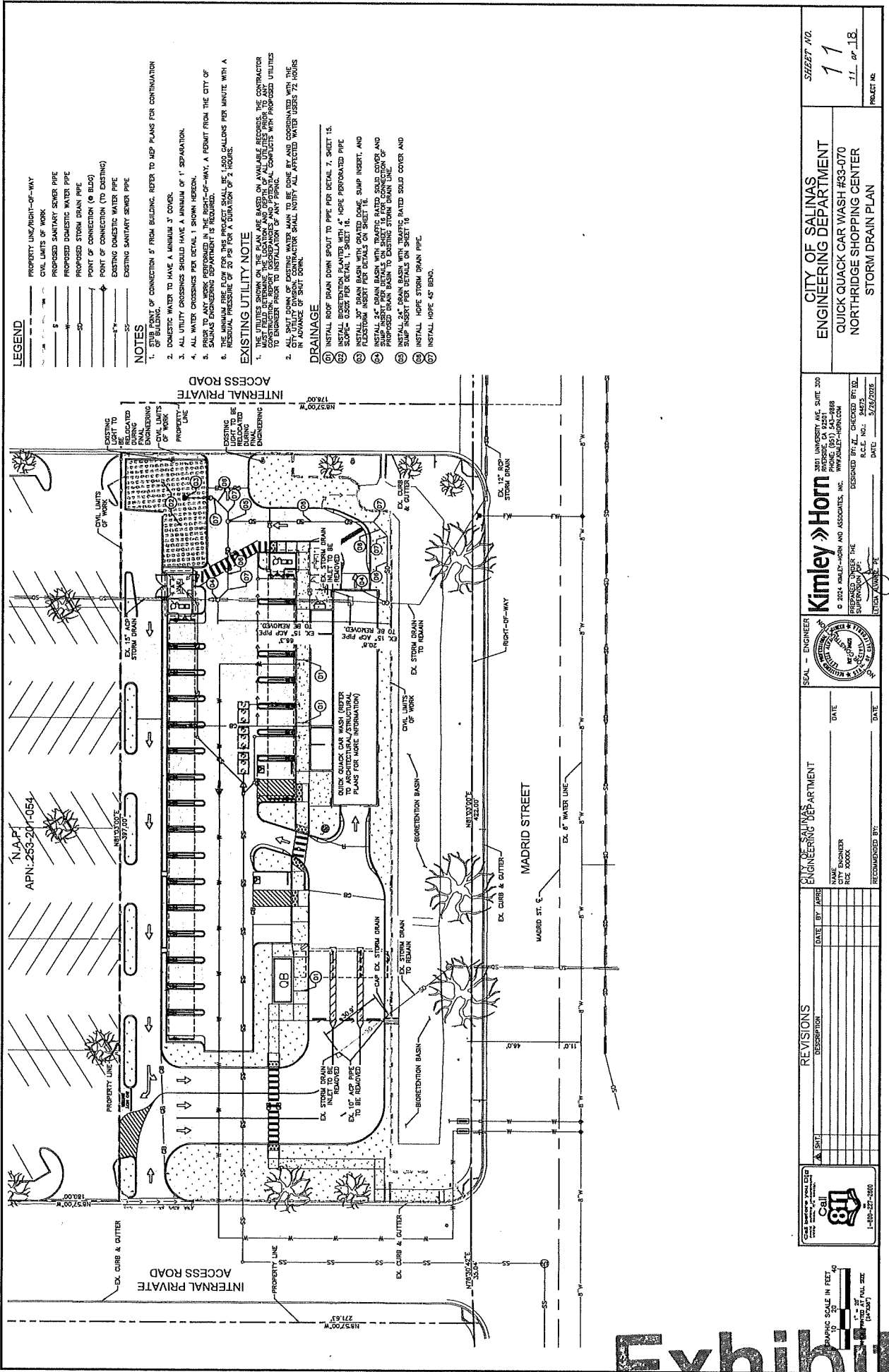
Kimley » Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
DESIGNED BY: J.L. CHECKED BY: J.L.
DATE: 12/12/2024
PROJECT NO. 24-001

CITY OF SALINAS
ENGINEERING DEPARTMENT
QUICK QUACK CAR WASH #33-070
NORTHEDGE SHOPPING CENTER
GRADING PLAN DETAIL

SHEET 102
9
2 of 18
PROJECT NO.

Exhibit

K



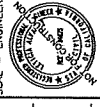
- LEGEND**
- PROPERTY LINE/RIGHT-OF-WAY
 - CIVIL LIMITS OF WORK
 - PROPOSED SANITARY SEWER PIPE
 - PROPOSED DOMESTIC WATER PIPE
 - PROPOSED STORM DRAIN PIPE
 - POINT OF CONNECTION (6 BLDG)
 - POINT OF CONNECTION (TO EXISTING)
 - EXISTING DOMESTIC WATER PIPE
 - EXISTING SANITARY SEWER PIPE

- NOTES**
- EXISTING OF CONNECTION 5 FROM BUILDING. REFER TO MEP PLANS FOR CONTINUATION OF BUILDING.
 - DOMESTIC WATER TO HAVE A MINIMUM 3" COVER.
 - ALL UTILITY CROSSINGS SHOULD HAVE A MINIMUM OF 1' SEPARATION.
 - ALL WATER CROSSINGS PER DETAIL 1 SHOWN HEREON.
 - PRIOR TO ANY WORK PERFORMED IN THE RIGHT-OF-WAY, A PERMIT FROM THE CITY OF SALINAS ENGINEERING DEPARTMENT IS REQUIRED.
 - THE MINIMUM PIPE FLOW FOR THIS PROJECT SHALL BE 1,500 GALLONS PER MINUTE WITH A PRESSURE HEAD OF 20 PSI FOR A DURATION OF 2 HOURS.

EXISTING UTILITY NOTE

THE UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES TO ENGINEER PRIOR TO INSTALLATION OF ANY PIPING. EX. HAS BEEN ASSUMED WITH THE CITY OF SALINAS ENGINEERING DEPARTMENT. CONTRACTOR SHALL NOTIFY ALL AFFECTED WATER USERS 72 HOURS IN ADVANCE OF SHUT DOWN.

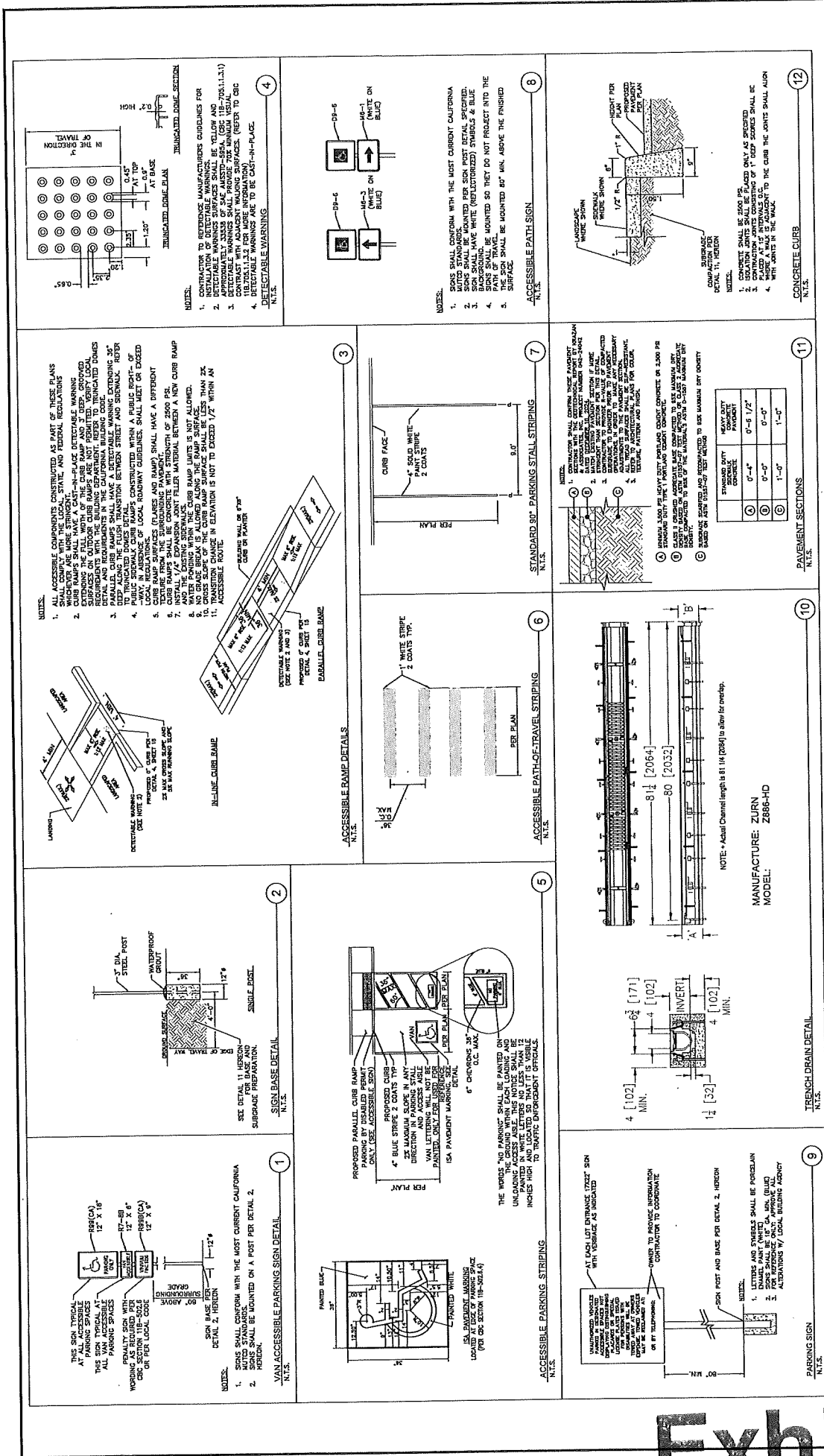
- DRAINAGE**
- INSTALL ROOF DRAIN DOWN SPOUT TO PIPE PER DETAIL 7, SHEET 15.
 - INSTALL ROOF DRAIN DOWN SPOUT TO PIPE PER DETAIL 7, SHEET 15.
 - INSTALL 30" DRAIN BASIN WITH RAISED DOME, SUMP INSERT, AND SUMP INLET PER DETAIL 10 FOR CONNECTION OF EX. 15" ACP PIPE TO EX. 15" ACP PIPE.
 - INSTALL 30" DRAIN BASIN WITH RAISED DOME, SUMP INSERT, AND SUMP INLET PER DETAIL 10 FOR CONNECTION OF EX. 15" ACP PIPE TO EX. 15" ACP PIPE.
 - INSTALL 30" DRAIN BASIN WITH RAISED DOME, SUMP INSERT, AND SUMP INLET PER DETAIL 10 FOR CONNECTION OF EX. 15" ACP PIPE TO EX. 15" ACP PIPE.
 - INSTALL HOPE STORM DRAIN PIPE.
 - INSTALL HOPE 45" BEND.

	CITY OF SALINAS ENGINEERING DEPARTMENT	3001 UNIVERSITY AVE. SUITE 300 SALINAS, CA 92301 PHONE: (575) 545-5888 FAX: (575) 545-5889	DESIGNED BY: J.L. CHEN CHECKED BY: J.L. CHEN DATE: 3/28/2025	RECOMMENDED BY: _____ DATE: _____	REVISIONS	DATE BY: JARS	DATE
					DESCRIPTION		
	CITY OF SALINAS ENGINEERING DEPARTMENT	3001 UNIVERSITY AVE. SUITE 300 SALINAS, CA 92301 PHONE: (575) 545-5888 FAX: (575) 545-5889	DESIGNED BY: J.L. CHEN CHECKED BY: J.L. CHEN DATE: 3/28/2025	RECOMMENDED BY: _____ DATE: _____	REVISIONS	DATE BY: JARS	DATE
CITY OF SALINAS ENGINEERING DEPARTMENT		3001 UNIVERSITY AVE. SUITE 300 SALINAS, CA 92301 PHONE: (575) 545-5888 FAX: (575) 545-5889	DESIGNED BY: J.L. CHEN CHECKED BY: J.L. CHEN DATE: 3/28/2025	RECOMMENDED BY: _____ DATE: _____	REVISIONS	DATE BY: JARS	DATE
CITY OF SALINAS ENGINEERING DEPARTMENT		3001 UNIVERSITY AVE. SUITE 300 SALINAS, CA 92301 PHONE: (575) 545-5888 FAX: (575) 545-5889	DESIGNED BY: J.L. CHEN CHECKED BY: J.L. CHEN DATE: 3/28/2025	RECOMMENDED BY: _____ DATE: _____	REVISIONS	DATE BY: JARS	DATE

GRAPHIC SCALE IN FEET

1" = 20' HORIZONTAL SCALE
1" = 4' VERTICAL SCALE

Cell
1-800-277-2600



REVISIONS

NO.	DATE	DESCRIPTION
1		

DATE BY

DATE

CITY OF SALINAS

ENGINEERING DEPARTMENT

QUICK QUACK CAR WASH #33-070

NORTHBRIDGE SHOPPING CENTER

CONSTRUCTION DETAILS

Kimley-Horn

3001 UNIVERSITY AVE. SUITE 300
SALINAS, CA 94566
PHONE (510) 543-8888
WWW.KIMLEY-HORN.COM

DESIGNED BY: JZ CHECKED BY: JZ
DATE: 5/22/2020
R.E. NO. 54575

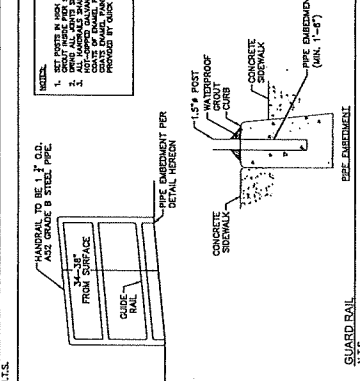
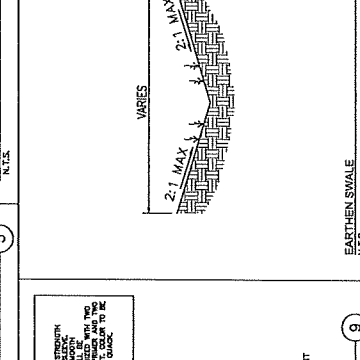
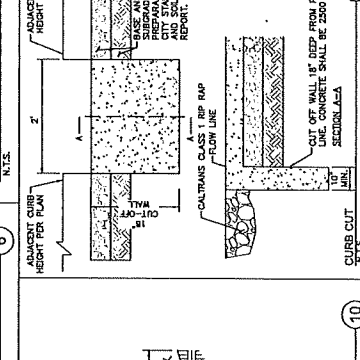
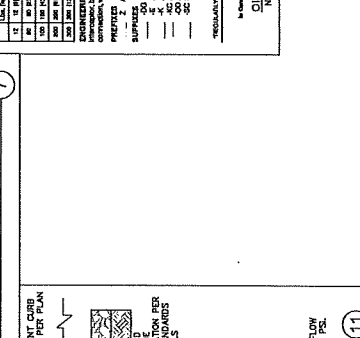
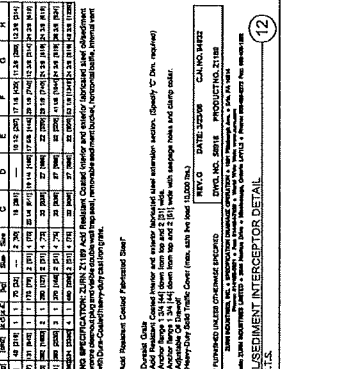
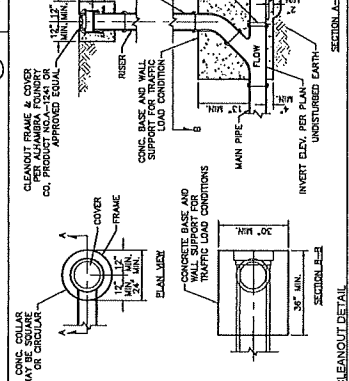
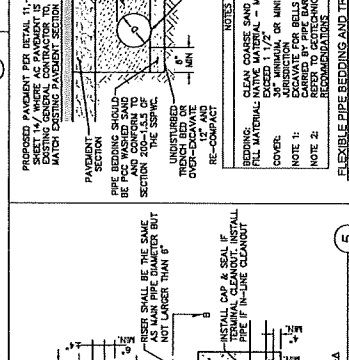
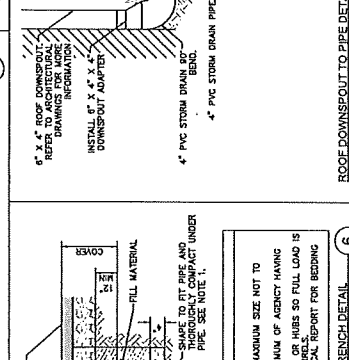
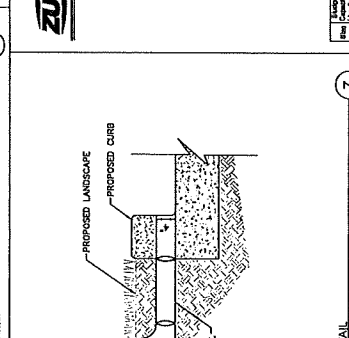
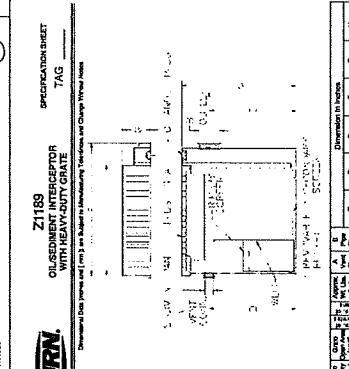
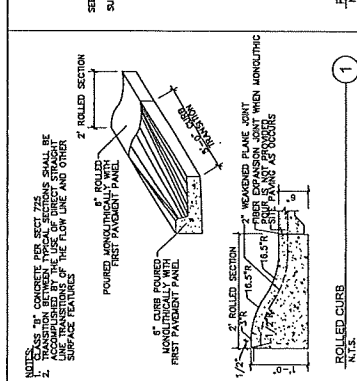
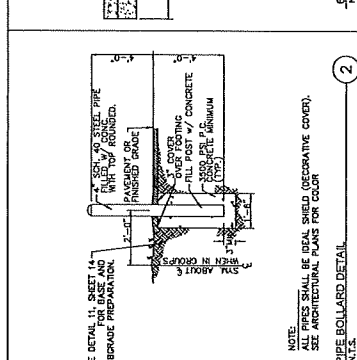
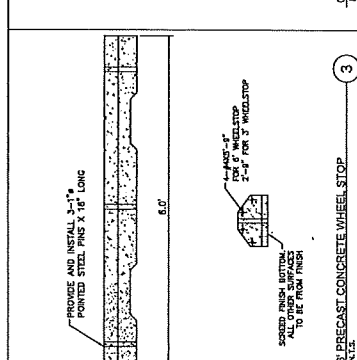
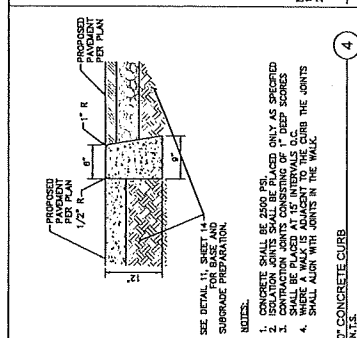
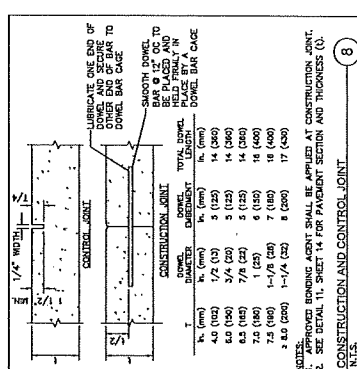
SEAL - ENGINEER

NAME

DATE

RECOMMENDED BY:

DATE



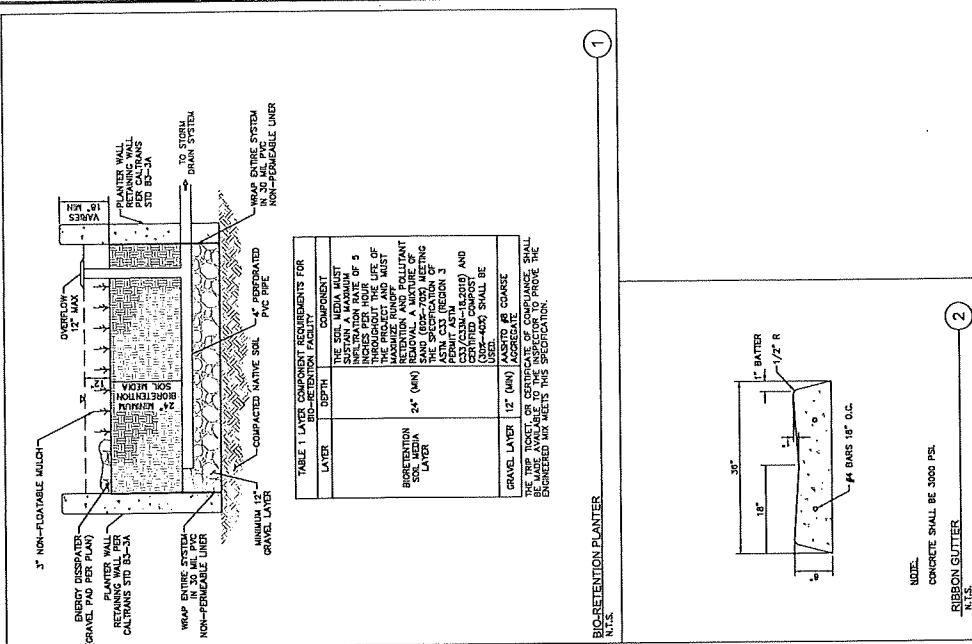
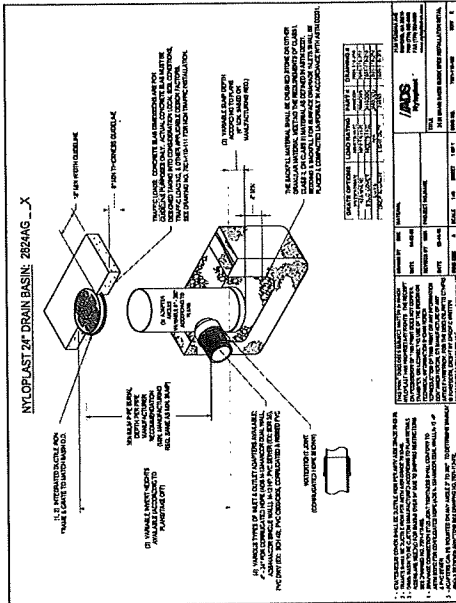
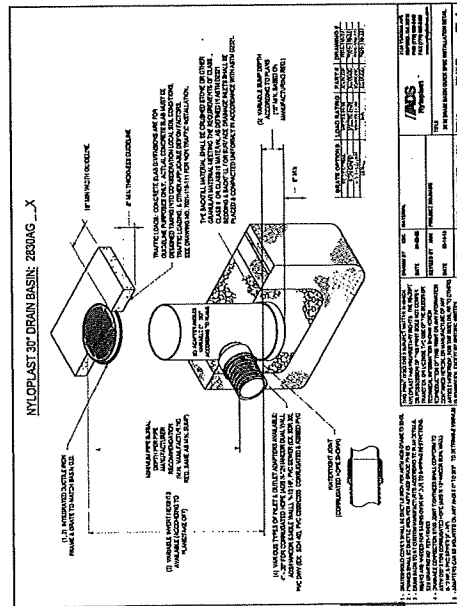
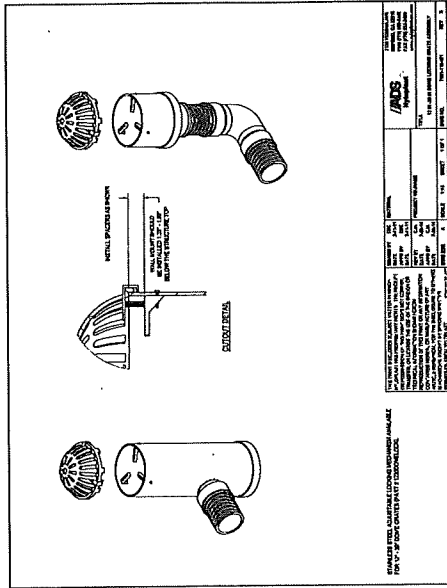


TABLE 1. MINIMUM REQUIREMENTS FOR BIO-RETENTION FACILITY		
LAYER	DEPTH	COMPONENT
BIORETENTION SUBSTRATE LAYER	24" (60cm)	THE SOIL MEDIA MUST BE A COMPOST OF 5 PARTS PERCENT INERTION RATE OF 5% AND 95% ORGANIC MATERIAL. THE PROJECT AND MUST MAINTAIN RUNOFF WATER QUALITY TO MEET THE DESIGN SPECIFICATION OF THE REGION 5 PERMIT ASTM C573/C578-1(2010) AND C573/C578-1(2010) SHALL BE USED.
GRAVEL LAYER	12" (30cm)	AUGUST 2010 COARSE SAND

THE TRIP TICKET, OR CERTIFICATE OF COMPLIANCE, SHALL BE MADE AVAILABLE TO THE INSPECTOR TO PROVE THE COMPLIANCE WITH THIS SPECIFICATION.

BIO-RETENTION PLANTER
N.T.C.

NOTE.
CONCRETE SHALL BE 3000 PSI.

RIBBON GUTTER

N.T.S.

SHEET NO. 16 of 18

CITY OF SALINAS
ENGINEERING DEPARTMENT
QUICK QUACK CAR WASH #43-070
NORTHBRIDGE SHOPPING CENTER
CONSTRUCTION DETAILS

11 UNIVERSITY AVE, SUITE 300
PACIFIC, CA 92501
PHONE: (951) 543-8868
WWW.KIMLEY-HORN.COM

Kimley»Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC. DESIGN
PREPARED UNDER THE
SUPERVISION OF: 

DATE _____

CITY OF SALINAS
ENGINEERING DEPARTMENT

NAME _____
CITY ENGINEER _____
RCE XXXXX _____

[illegible]

IONS
PTION

REVIS
DESIGN

[illegible]

Call before you dig
to find out where
you can dig safely.
Call 811

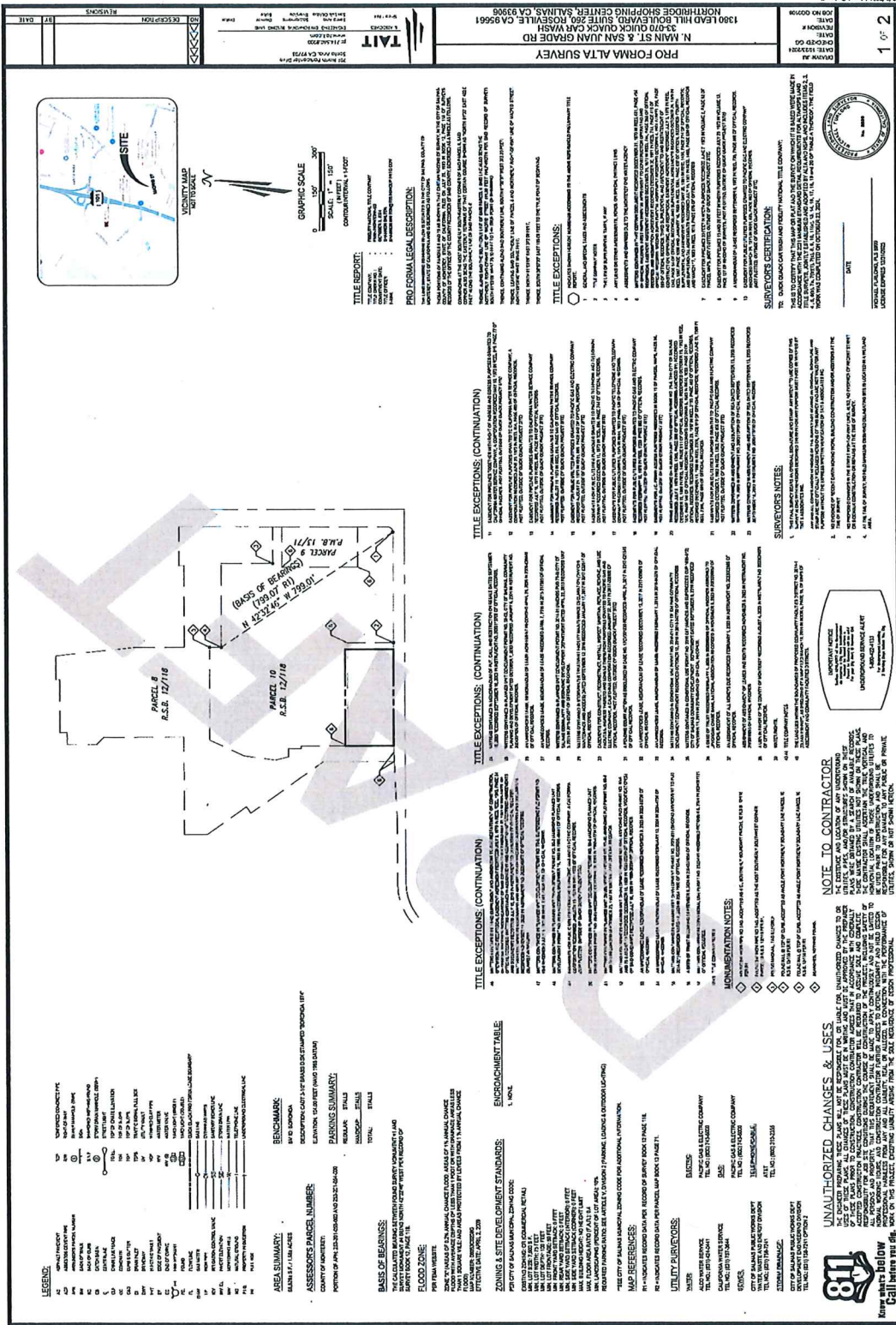
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Exhibit R

FOR REFERENCE ONLY (NOT TO SCALE)

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PRELIMINARY



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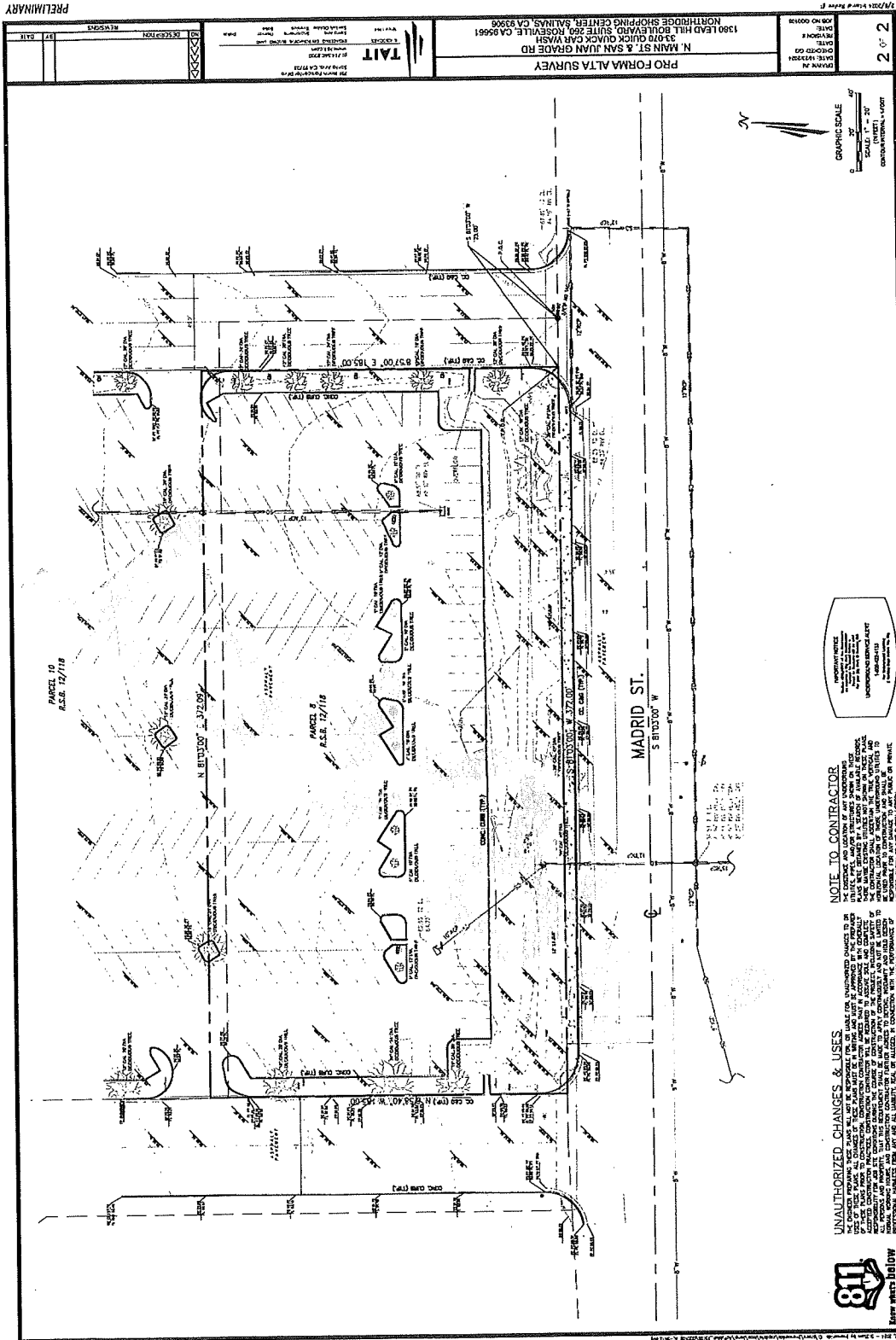
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FOR REFERENCE ONLY (NOT TO SCALE)

FOR REFERENCE ONLY (NOT TO SCALE)

Exhibit

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811
Call before you dig
1-800-227-6800

UNAUTHORIZED CHANGES & USES
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. ANY CHANGES TO THE PLAN SHALL BE MADE IN WRITING AND SIGNED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. ANY CHANGES TO THE PLAN SHALL BE MADE IN WRITING AND SIGNED BY THE ENGINEER.

NOTE TO CONTRACTOR
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. ANY CHANGES TO THE PLAN SHALL BE MADE IN WRITING AND SIGNED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. ANY CHANGES TO THE PLAN SHALL BE MADE IN WRITING AND SIGNED BY THE ENGINEER.

PRO FORMA ALTA SURVEY
N. MAIN ST. & SAN JUAN GRADE RD
31070 QUICK CAR WASH
NORTHBRIDGE SHOPPING CENTER, SALINAS, CA 93906
1390 LEAD HILL BOULEVARD, SUITE 260 ROSEVILLE, CA 95661

TAIT
SURVEYING & ENGINEERING
2111 LAMAR AVE
SALINAS, CA 93906
TEL: 831-435-1111
WWW.TAIT-SURVEYING.COM

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	12/18/2024

PRELIMINARY

CITY OF SALINAS
ENGINEERING DEPARTMENT

QUICK CAR WASH #33-070
NORTHBRIDGE SHOPPING CENTER
ALTA (FOR REFERENCE ONLY)

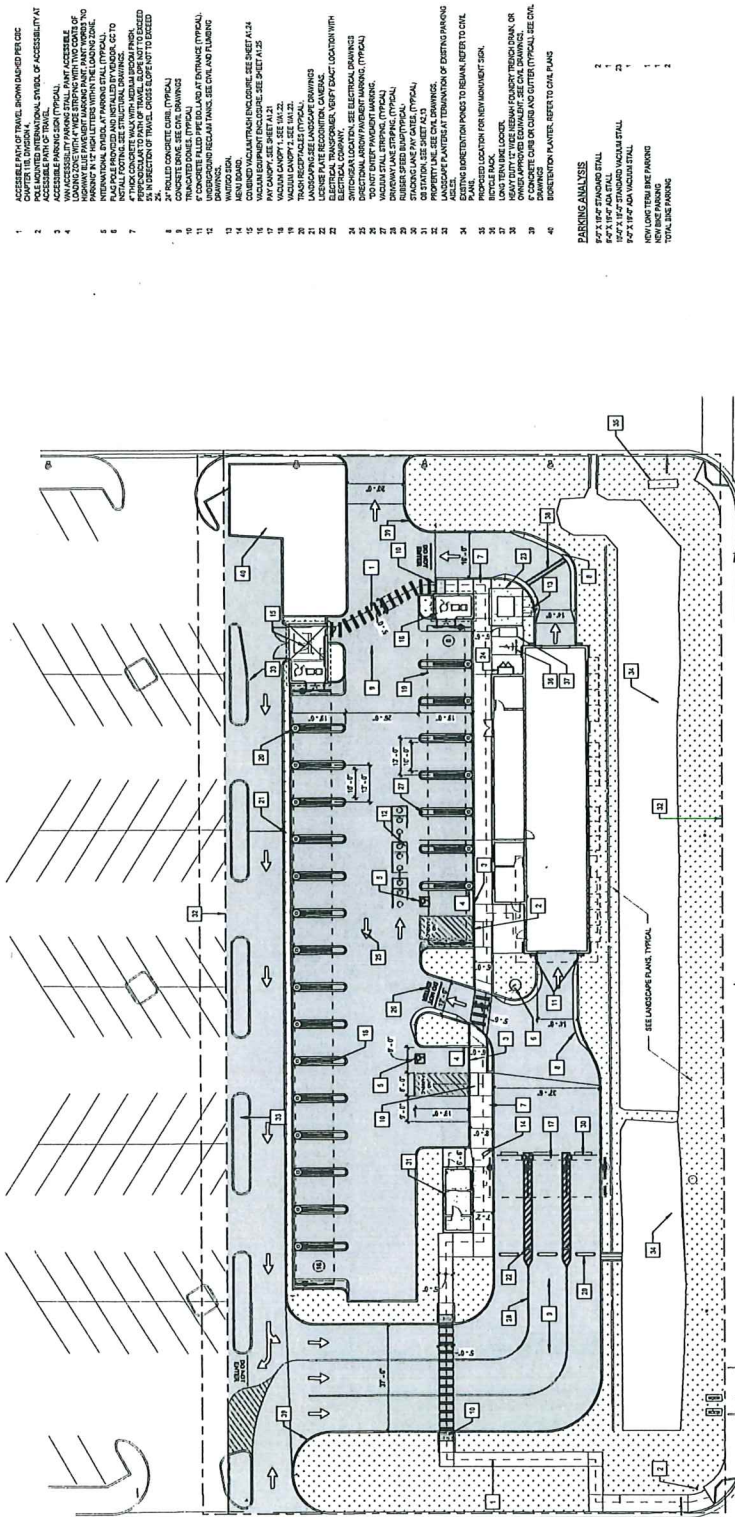
DESIGNED BY: J. HORN
CHECKED BY: J. HORN
DATE: 12/18/2024

RECOMMENDED BY: _____ **DATE:** _____

REVISIONS

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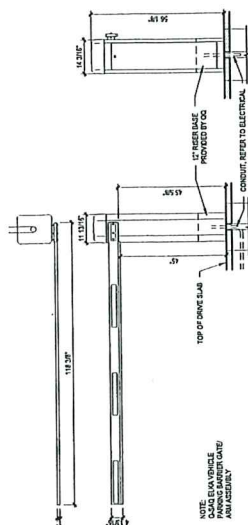
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1-800-227-6800



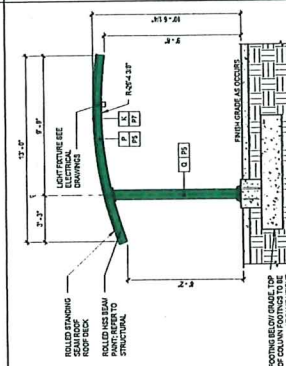
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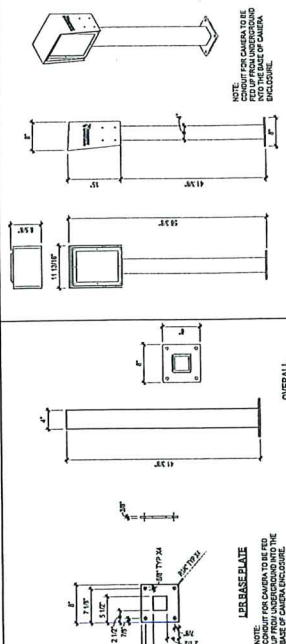
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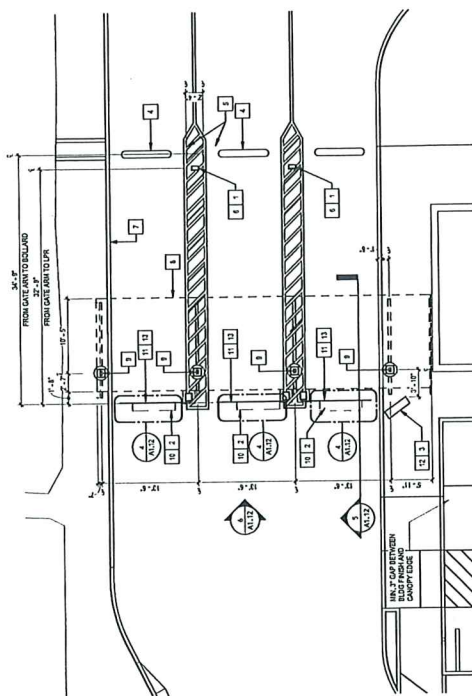
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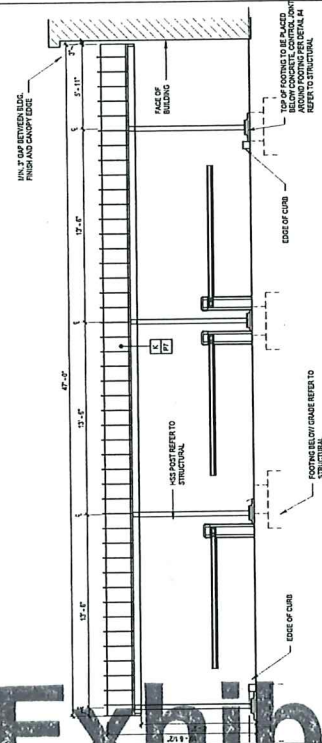
CANOPY SECTION



CAMERA HOUSING & TUBE



UPR CANOPY FLOOR PLAN



ACTION

REFER TO A3.10 AND A3.11
EXTERIOR ELEVATIONS FOR
COLOR AND MATERIAL LEGEND

REFER TO A3.10 AND A3.11
EXTERIOR ELEVATIONS FOR
COLOR AND MATERIAL LEGEND

MATERIAL LEGEND

1/8" = 1'-0"	1
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[illegible]



Barthelemy
Consulting Engineers, Inc.
425 251 5222
barthelemy.com
1025 72nd Avenue South
King, WA 98032

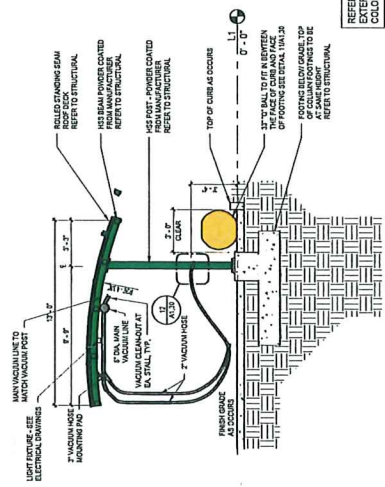


QUICK QUACK CARWASH NO. 33-070
N. MAIN ST & MADRID STREET
SALINAS, CALIFORNIA

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CANOPY

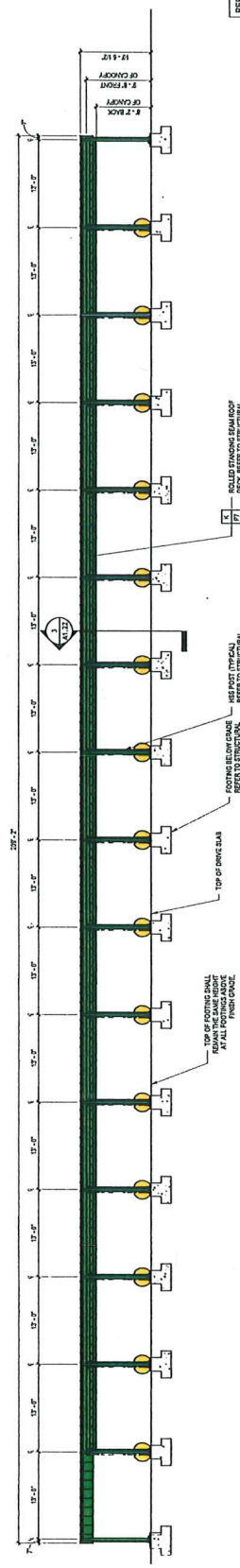
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REFER TO A3.10 AND A3.11
EXTERIOR ELEVATION FOR
COLOR AND MATERIAL LEGEND

VACUUM CANOPY SECTION

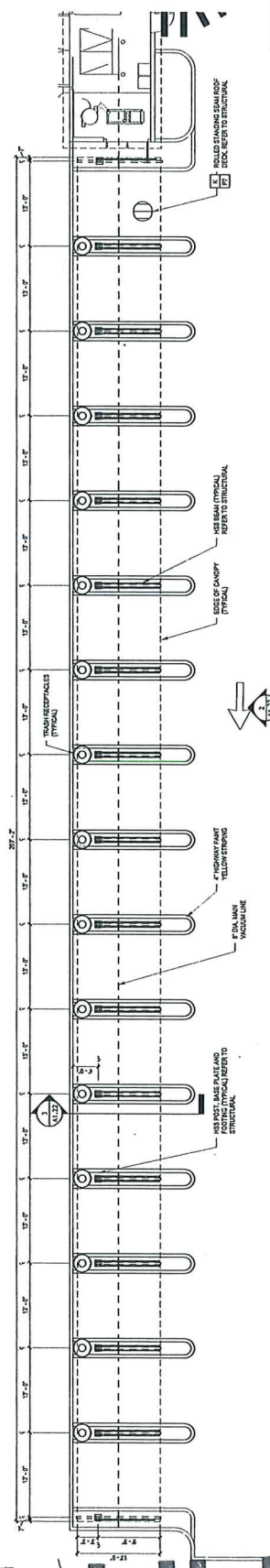
1/8" = 1'-0"



REFER TO A3.10 AND A3.11
EXTERIOR ELEVATION FOR
COLOR AND MATERIAL LEGEND

ELEVATION - NORTH

1/8" = 1'-0"



REFER TO A3.10 AND A3.11
EXTERIOR ELEVATION FOR
COLOR AND MATERIAL LEGEND

FLOOR PLAN

1/8" = 1'-0"

Exhibit





Barhausen
Consulting Engineers, Inc.
425-251-2222
K215 72nd Avenue South
KNOX, WA 98042



QUICK QUACK CAR WASH NO. 33-070
N. MAIN ST & SAN JUAN GRADE RD
SALINAS, CALIFORNIA

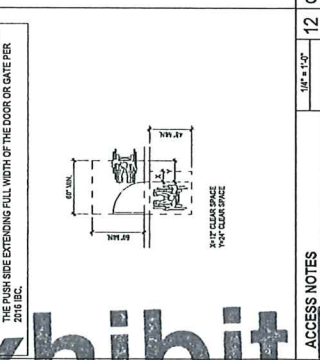
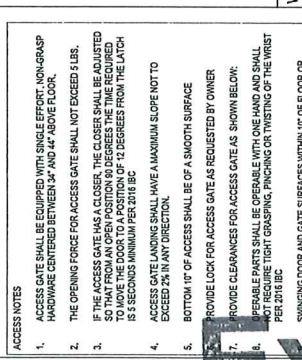
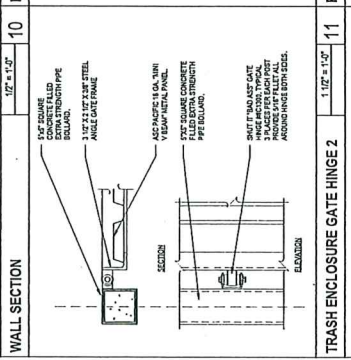
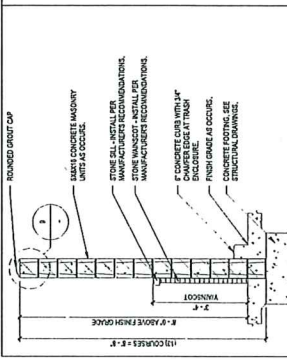
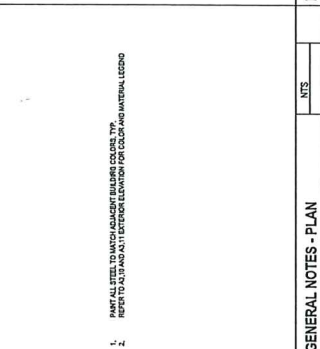
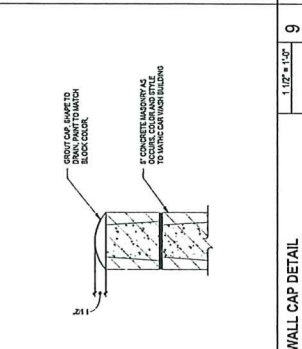
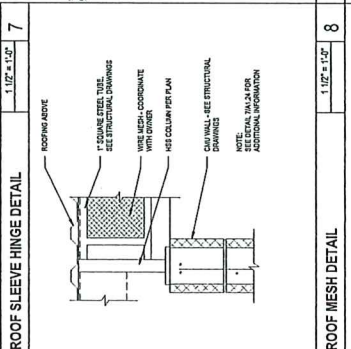
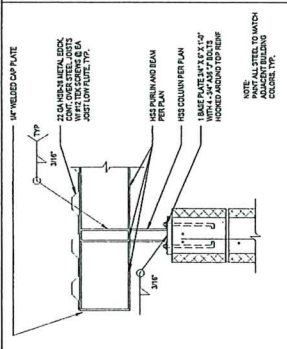
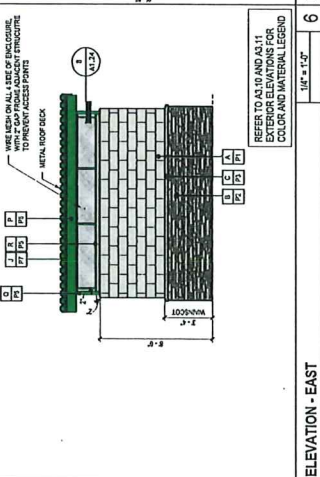
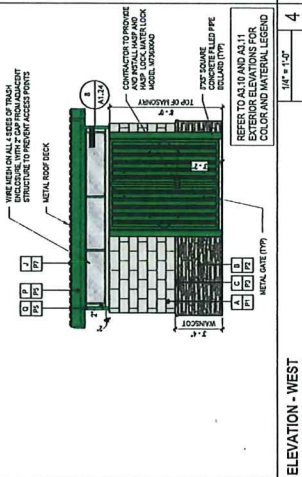
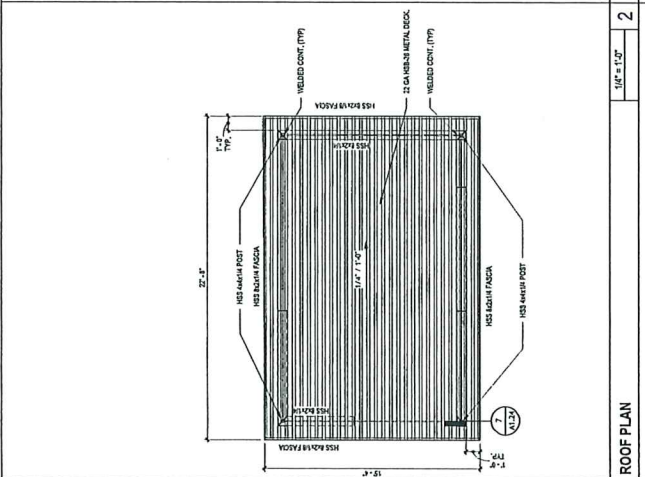
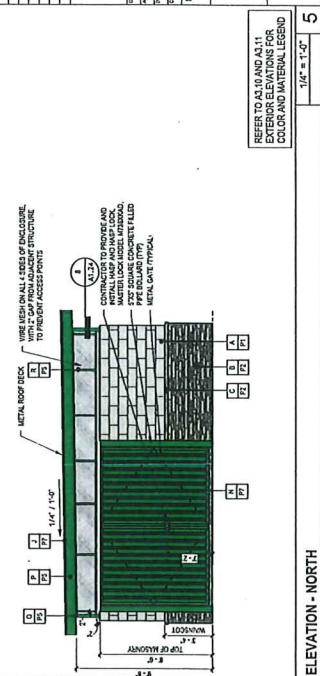
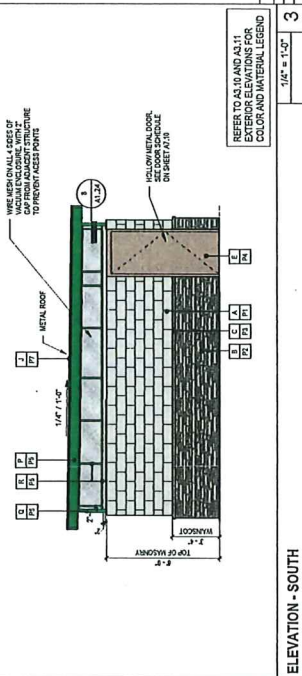
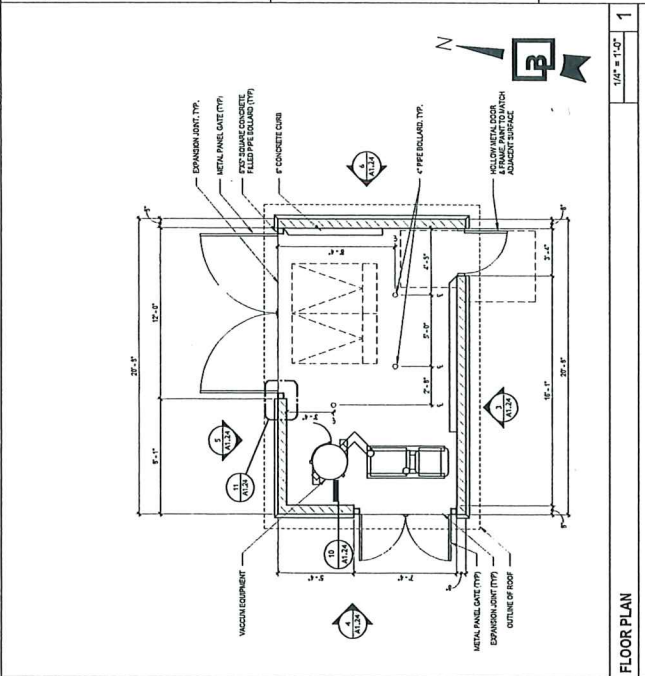
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5/10/25	12

ENTITLEMENT SET

PROJECT NO.	33-070
PROJECT NAME	QUICK QUACK CAR WASH
PROJECT LOCATION	N. MAIN ST & SAN JUAN GRADE RD, SALINAS, CA
DATE	5/10/25
DESIGNED BY	BARHAUSEN
CHECKED BY	BARHAUSEN
APPROVED BY	BARHAUSEN

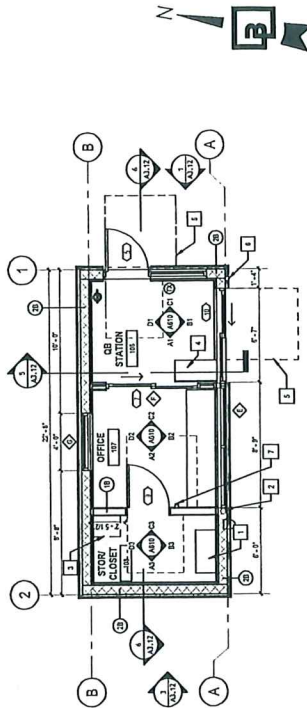
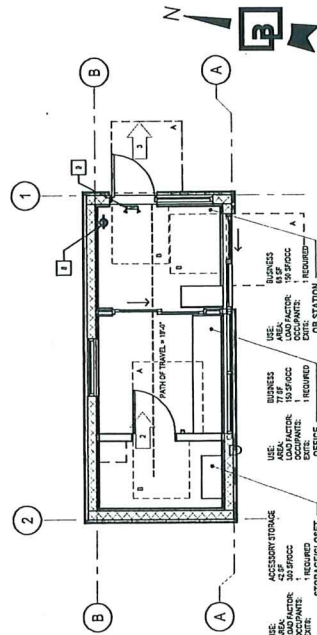
VACUUM AND TRASH ENCLOSURE

A1.24



FLOOR PLAN KEY/NOTES	GENERAL NOTES	SYMBOLS LEGEND FLOOR PLAN
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NO.	DATE	DESCRIPTION
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ENTITLEMENT
SET

PROJECT: QO
DESIGNED BY: DB
CHECKED BY: MS
INCHES: 1/8"

DATE: 5/02/25
JOB NUMBER: 23427

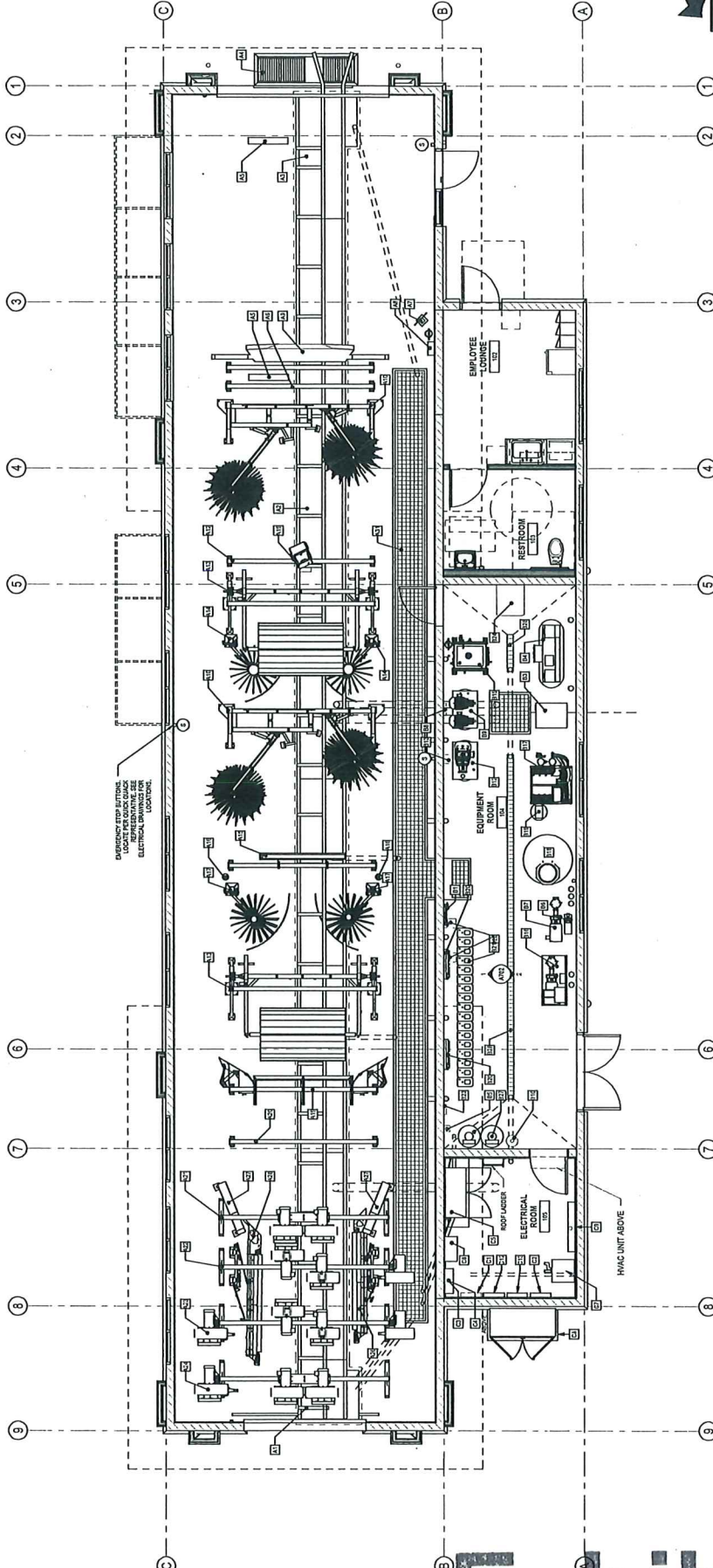
EQUIPMENT
PLAN

A2.14a

GENERAL NOTES
1. SEE A2.14a FOR EQUIPMENT SCHEDULE

1" = 1'-0"

EQUIPMENT PLAN



Exhibit

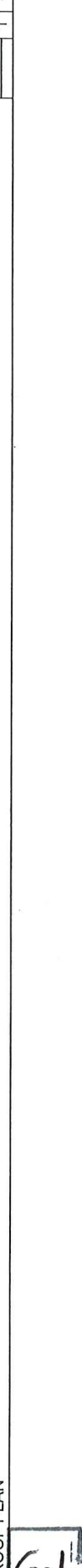
E-1



The diagram shows a rectangular frame with various dimensions and labels:

- Top horizontal dimension:** Labeled as $\frac{1}{2} \cdot A_2$.
- Left vertical dimension:** Labeled as $\frac{1}{2} \cdot A_1$.
- Right vertical dimension:** Labeled as $\frac{1}{2} \cdot A_1$.
- Bottom horizontal dimension:** Labeled as $\frac{1}{2} \cdot A_2$.
- Internal horizontal dimension (left side):** Labeled as $A_1 - B$.
- Internal vertical dimension (top side):** Labeled as $A_1 - B$.
- Diagonal dimension (dashed line):** Labeled as $G = \sqrt{A_1^2 + A_2^2}$.
- Angle at bottom-left corner:** Labeled as α .
- Angle at top-right corner:** Labeled as β .
- Angle at bottom-right corner:** Labeled as γ .
- Angle at top-left corner:** Labeled as δ .
- Label at bottom center:** (D) .

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3/16" = 1'-0"	1
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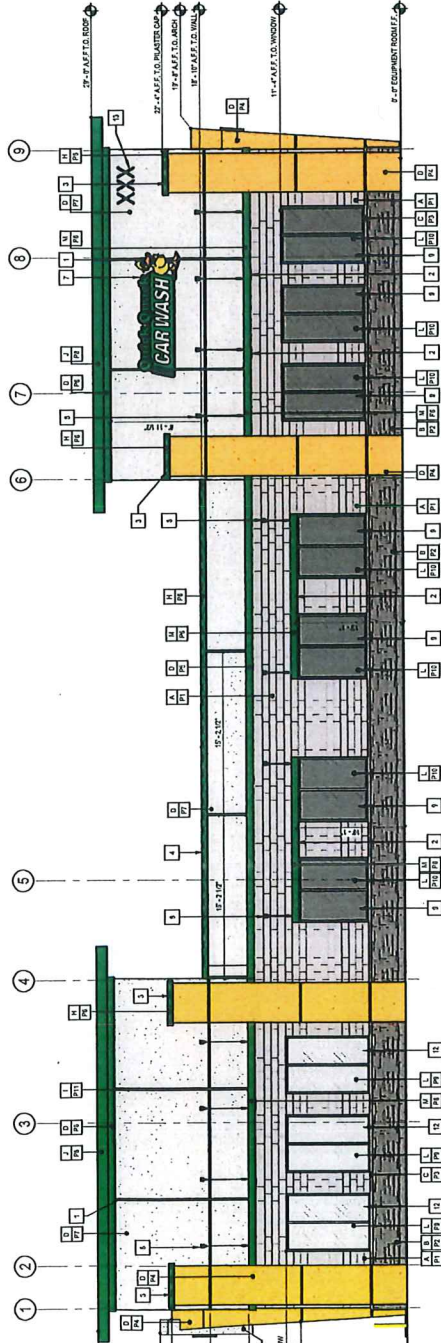
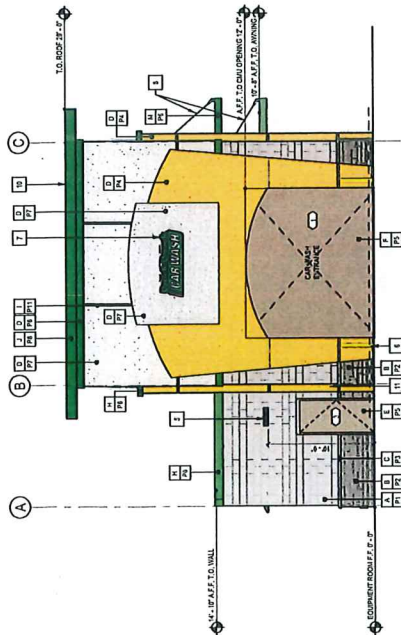
[illegible]

1. REFERS TO WALL ZONE FOR PARTITION TYPE.
2. THE APPROVED AND STAMPED CONSTRUCTION DOCUMENTS SHALL REMAIN ON SITE AT ALL TIMES.
3. HEIGHT TO JACKET IS 8.4-11 FT FOR CORE AND PERIMETER CONCRETE.
4. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY UPON THE DISCOVERY OF ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS, ANY WORKMAN'S OBSERVATIONS, OR THE EXISTING CONDITIONS. UNTIL FURTHER CLARIFICATION IS ISSUED BY THE ARCHITECT.
5. REFERS TO ALL FLOOR SLAB AND CEILING PANEL.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES.
7. REFERS TO GYM FLOOR VIBRATION FROM SCHOOL.
8. GYM AND ADJACENT AREAL ARE REQUIRED TO HAVE FLOOR EQUIPMENT, FLEXIBLE LULLING, ETC. FOR PROPER INSTALLATION.
9. TACTILE ELEVATOR DOCK SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS:
A. INTERIOR BACK-BACK PROVISIONS REQUIRE ELEVATOR FROM A ROOM OR AREA TO A CORRIDOR OR HALLWAY, THE TACTILE ELEVATOR DOCK SHALL HAVE THE WORDS: "ELEVATOR".
B. EACH GYMNASIUM ELEVATOR DOCK.
C. THE TACTILE ELEVATOR SHALL HAVE THE WORDS: "ELEVATOR".
10. OVERLAPTED SIDES, DOORS BEING DISPERSED WITH A FACTORY FINISH OVERHEAD DOOR MANUFACTURED IN EITHER STANDARD GRAY OR WHITE FINISH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES.

EXTERIOR MATERIAL FINISHES & FINISH SCHEDULE

WEST EVALUATION

MATERIAL		COLOR / FINISH
A	SMOOTH FINISH PINE OR OAK BARS	ENAMEL PISTOL COLOR
B	CONCRETE STONE - CHICKEN STONE	ENAMEL PISTOL COLOR
C	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
D	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
E	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
F	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
G	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
H	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
I	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
J	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
K	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
L	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
M	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
N	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
O	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
P	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
Q	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
R	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
S	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
T	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
U	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
V	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
W	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
X	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
Y	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR
Z	CONCRETE STONE - CHICKLED STONE	ENAMEL PISTOL COLOR



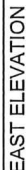
SOUTH_ELEVATION

H-1



GENERAL NOTES

EXTERIOR MATERIAL FINISHES & FINISH SCHEDULE



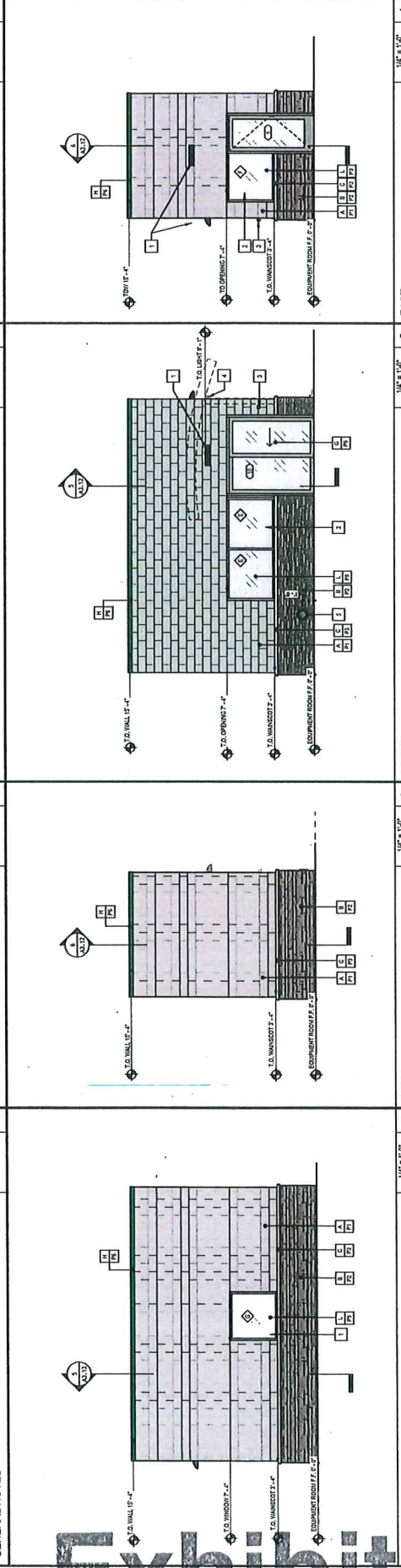
Exhibit

KEYNOTE LEGEND

1. WALL FINISH (SEE NOTE 1.1 FOR FINISH TYPE)
2. THE APPROVED AND STAMPED CONSTRUCTION DOCUMENTS SHALL REMAIN ON SITE AT ALL TIMES.
3. REFER TO SHEET A3.11 FOR DOOR AND WINDOW SCHEDULE.
4. IT IS THE CLIENT'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. ANY VIOLATIONS OF ANY APPLICABLE CODES OR REGULATIONS SHALL BE THE CLIENT'S RESPONSIBILITY. ANY WORK IN VIOLATION OF ANY APPLICABLE CODES OR REGULATIONS SHALL NOT BE CONSIDERED.
5. REFER TO ALL HPI FOR EQUIPMENT PLAN.
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11. REFER TO ALL HPI FOR EQUIPMENT PLAN.
12. REFER TO ALL HPI FOR EQUIPMENT PLAN.

GENERAL NOTES

1. REFER TO SHEET A3.11 FOR FINISH TYPE.
2. THE APPROVED AND STAMPED CONSTRUCTION DOCUMENTS SHALL REMAIN ON SITE AT ALL TIMES.
3. REFER TO SHEET A3.11 FOR DOOR AND WINDOW SCHEDULE.
4. IT IS THE CLIENT'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. ANY VIOLATIONS OF ANY APPLICABLE CODES OR REGULATIONS SHALL BE THE CLIENT'S RESPONSIBILITY. ANY WORK IN VIOLATION OF ANY APPLICABLE CODES OR REGULATIONS SHALL NOT BE CONSIDERED.
5. REFER TO ALL HPI FOR EQUIPMENT PLAN.
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KEYNOTES

1 1/4" = 1'-0"

2 1/4" = 1'-0"

3 1/4" = 1'-0"

4 1/4" = 1'-0"

5 1/4" = 1'-0"

6 1/4" = 1'-0"

7 1/4" = 1'-0"

8 1/4" = 1'-0"

9 1/4" = 1'-0"

10 1/4" = 1'-0"

11 1/4" = 1'-0"

12 1/4" = 1'-0"



Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



QUICK QUACK CAR WASH NO. 33-070
N. MAIN ST & MADRID STREET
SALINAS, CALIFORNIA

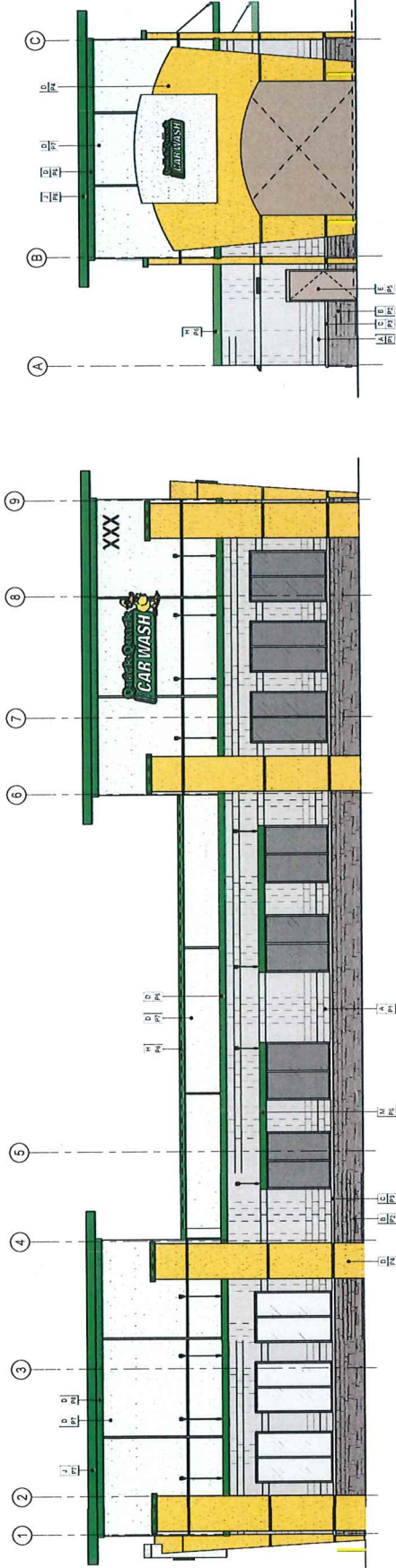
[illegible]ENTITLEMENT
SET

DESIGNED BY	Designer
APPROVED BY	Approver
DRAWN BY	Author
CHECKED BY	Checker

DATE	JOB NUMBER
5/02/25	23427

MATERIALS BOARD

A8.01



C	CORONADO STONE - CHISELED STONE SILL
P3	CORONADO STONE - CHISELED STONE SILL "LIGHT GREY"



B	CORONADO STONE - QUICK STACK
P2	CORONADO STONE - QUICK STACK "CATHEDRAL GREY"



A	SMOOTH HONED FACE CMU 8X8X16
D1	BASALITE INTEGRAL COLOR STANDARD #225 LIGHT GRAY



D	ACRYLIC PLASTER COLOR COAT W/ SAND FINISH
P6	PANTONE 348 C CONCORD "QUACKAMOLE GREEN"

J	METAL ROOF
P8	PREFINISHED METAL - TO MATCH "QUACKAMOLE GREEN"

H	PILASTER CAP
P8	PREFINISHED METAL - TO MATCH "QUACKAMOLE GREEN"

M	WALL MOUNTED AWNING
P6	PREFINISHED METAL - TO MATCH "QUACKAMOLE GREEN"

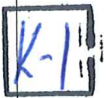


D	ACRYLIC PLASTER COLOR COAT W/ SAND FINISH
D5	SHERWIN WILLIAMS #7025 "BACKDROP"

D	ACRYLIC PLASTER COLOR COAT W/ SAND FINISH
R4	SHERWIN WILLIAMS #6902 "DECISIVE VEIL OW"

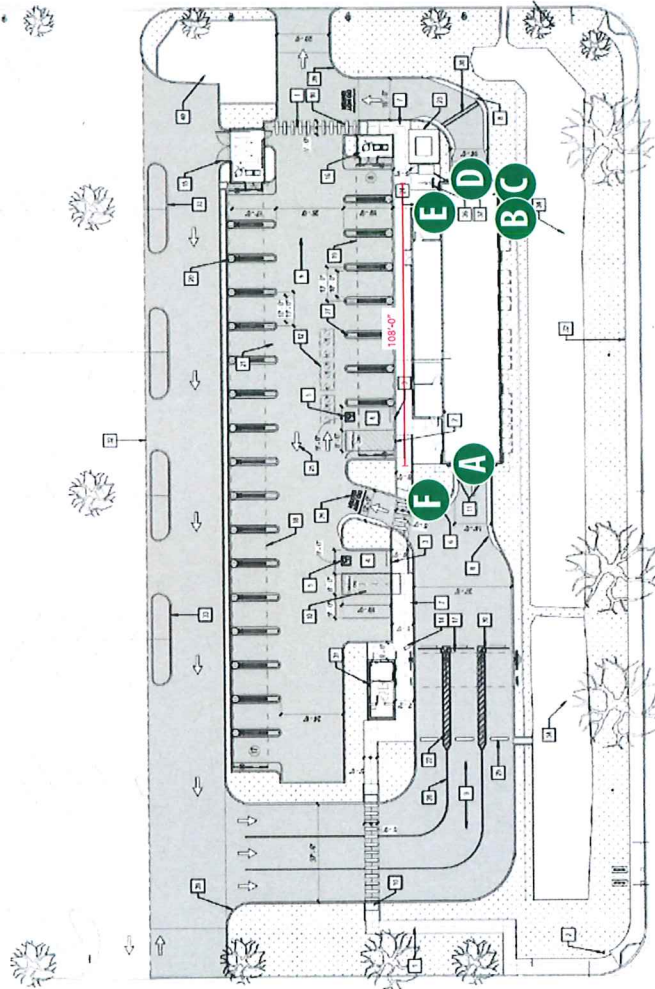
D	ACRYLIC PLASTER COLOR COAT W/ SAND FINISH
P7	SHERWIN WILLIAMS #7004 "SNOWBOUND WHITE"

Exhibit



Quick Quack | Salinas, CA

NOTE: Renderings below utilize sample dimensions.



108 Ft x 1.25 = 135 SqFt allowed sign area

Proposed Sign Areas	
Sign A: 13.8 SqFt	13.8 SqFt
Sign C: 49.9 SqFt	49.9 SqFt
Sign D: 13.8 SqFt	13.8 SqFt
Sign E: 49.9 SqFt	+49.9 SqFt

127.4 SqFt Total



FAIRMONT
SIGN COMPANY
3750 East Outer Drive
Detroit, MI 48234
t: 313.368.4000 f: 313.368.9335
www.fairmontsign.com

Client:

Quick Quack
CAR WASH

Quick Quack Car Wash #33-070
N Main St & San Juan Grade Rd
Salinas, CA 93906

Date: 8/4/25

File: Accounts/Misc/Quick Quack/Elev/
33-070 Salinas, CA

Designer: RNB

Scale: 1/4"

Job#: 00000
Sheet#: 1 of 9

Revision #: 6
Date: 11-25-25

Revision Description:

Customer Approval:

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ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO INSTALLATION

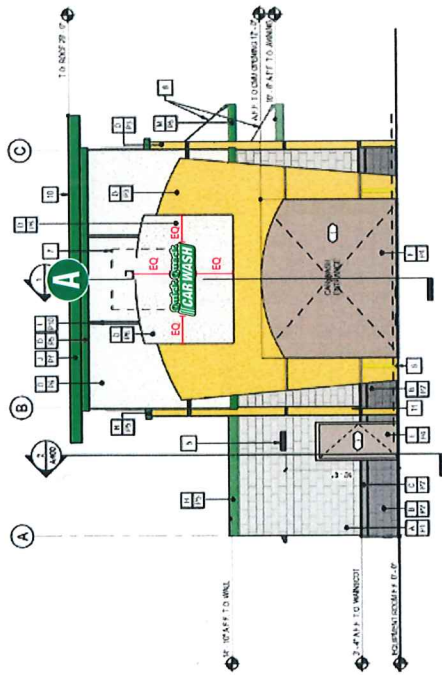
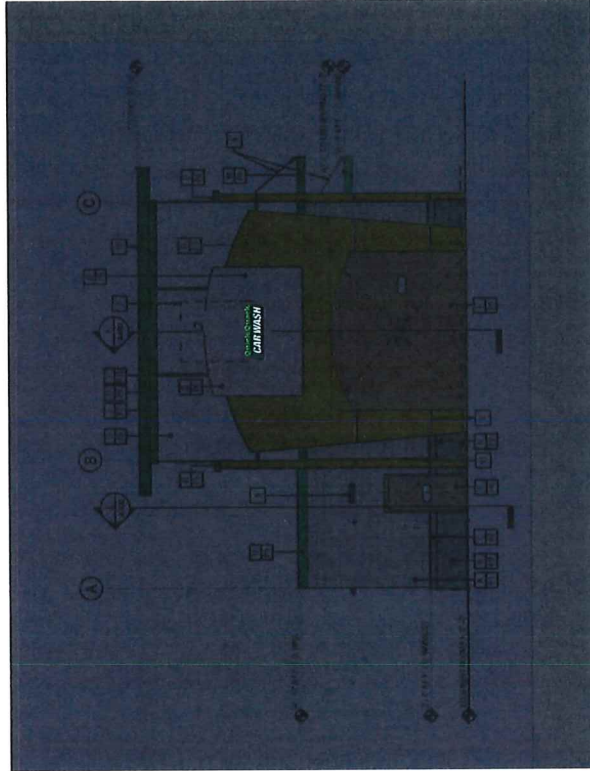
Exhibit

1-1

Quick Quack | Salinas, CA

NOTE: Renderings below utilize sample dimensions.

WEST ELEVATION



 FAIRMONT SIGN COMPANY 3750 East Outer Drive Detroit, MI 48234 t: 313.368.4000 f: 313.368.9335 www.fairmontsign.com		Client:  Quick Quack Car Wash #33-070 N Main St & San Juan Grade Rd Salinas, CA 93906
Date: 8/4/25		File: Accounts/Misc/Quick Quack/Elev/ 33-070 Salinas, CA
Designer: RNB		Scale: NA
Job# 00000		Sheet# 2 of 9
Revision # 6		Date: 11-25-25
Revision Description:		
Customer Approval:		
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Quick Quack | Salinas, CA

 **FAIRMONT**
SIGN COMPANY

3750 East Outer Drive
Detroit, MI 48234
t: 313.368.4000 f: 313.368.9335
www.fairmontsign.com

Quick Quack
CAR WASH

Quick Quack Car Wash #33-070
N Main St & San Juan Grade Rd
Salinas, CA 93906

Date: _____

File: Accounts/Misc/Quick Quack/Elev/
33-070 Salinas, CA

Designer:

Scale:

Job# 00000 Sheet# 3 of 9

Revision #	Date:
6	11-25-25

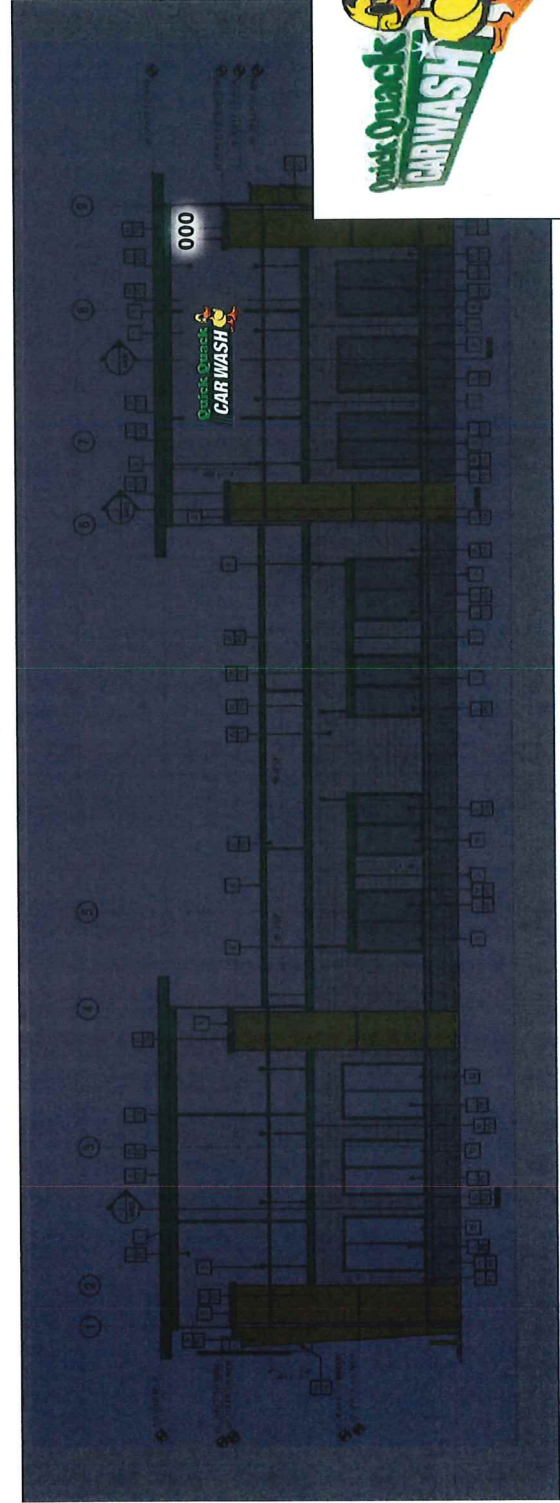
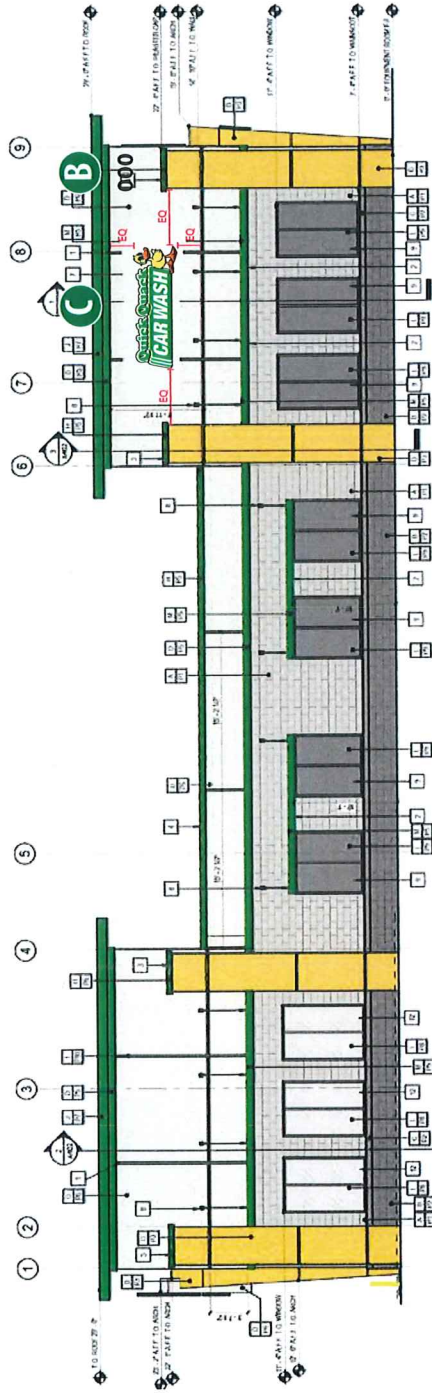
Revision Description:

Customer Approval:

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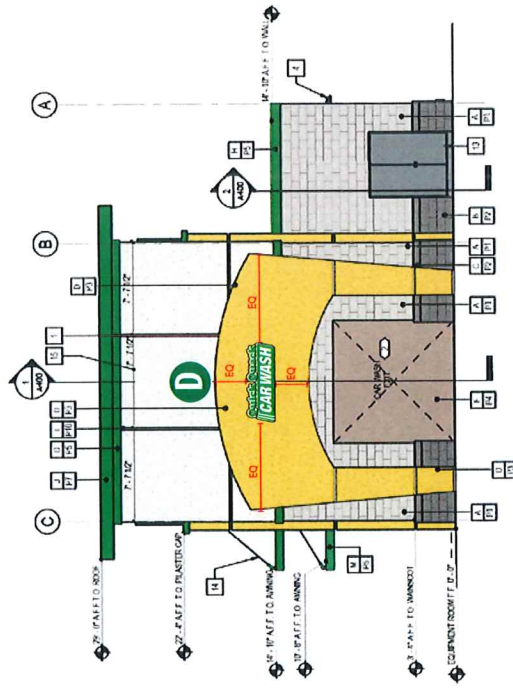
UNLESS OTHERWISE NOTED, ALL COLORS PORTRAYED ARE REPRESENTATIVE ONLY.

**ALL DIMENSIONS TO BE
FIELD VERIFIED PRIOR TO
INSTALLATION**

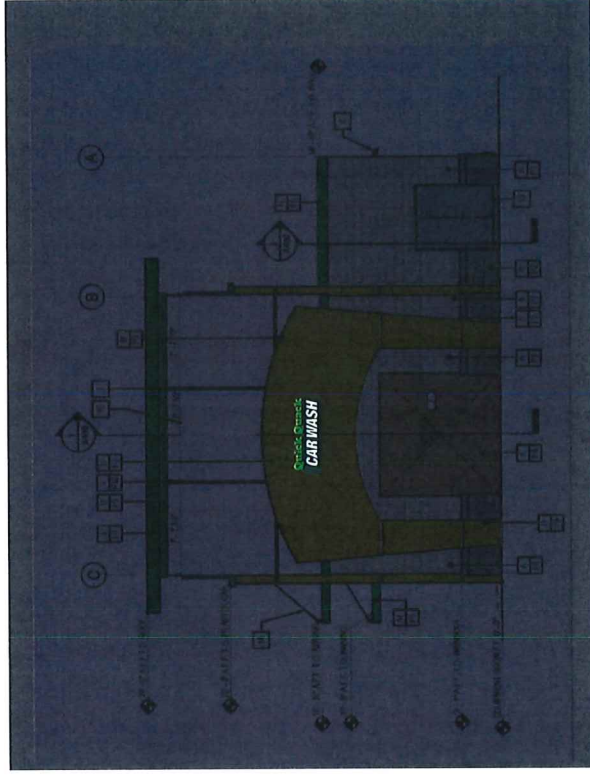


Quick Quack | Salinas, CA

NOTE: Renderings below utilize sample dimensions.



EAST ELEVATION



FAIRMONT
SIGN COMPANY

3750 East Outer Drive
Detroit, MI 48234
t: 313.368.4000 f: 313.368.9335
www.fairmontsign.com

Client:

Quick Quack
CAR WASH

Quick Quack Car Wash #33-070
N Main St & San Juan Grade Rd
Salinas, CA 93906

Date: 8/4/25

File: Accounts/Misc/Quick Quack/Elev/
33-070 Salinas, CA

Designer: RNB

Scale: NA

Job# 00000

Revision # 6

Date: 11-25-25

Revision Description:

Customer

Approval:

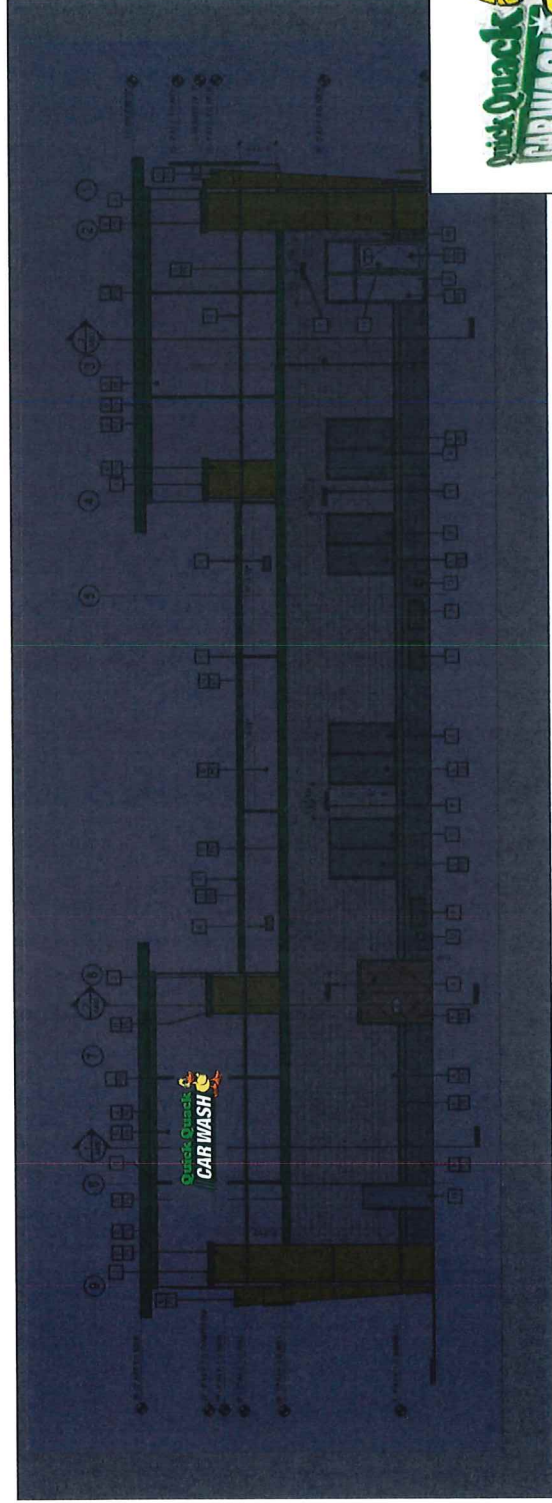
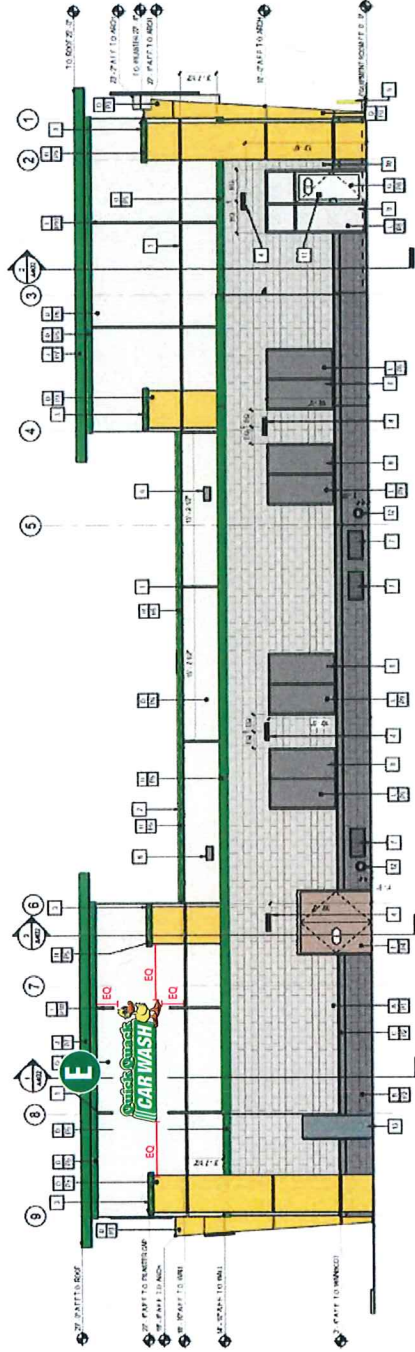
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Quick Quack | Salinas, CA

NOTE: Renderings below utilize sample dimensions.

NORTH ELEVATION



FAIRMONT
SIGN COMPANY
3750 East Outer Drive
Detroit, MI 48234
t: 313.368.4000 f: 313.368.9335
www.fairmontsign.com

Client:



Quick Quack Car Wash #33-070
N Main St & San Juan Grade Rd
Salinas, CA 95906

Date: 8/4/25

File: Accounts/Misc/Quick Quack/Elev/
33-070 Salinas, CA

Designer:

RNB

Scale:

NA

Job#

00000

Sheet#

5 of 9

Revision #

6

Date:

11-25-25

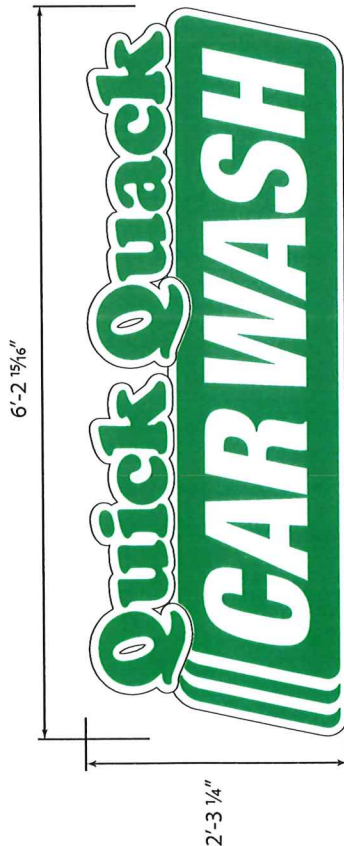
Revision Description:

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ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO INSTALLATION

Quick Quack | Salinas, CA

NOTE: Renderings below utilize sample dimensions.



Vinyl Film Color Schedule

(A)	(B)	(C)	(D)
3M 3630-22 Black	3M 3730-156 Vivid Green	3M 3630-015 Yellow	3M 3630-84 Tangerine Orange

Material Schedule

Fabricated aluminum, cloud-shaped channel construction. Face to be white acrylic with 3M vinyl film overlay (see color schedule). Returns and trimcap to be painted white. Cabinet to be internally illuminated with white LEDs.



THREE DIMENSIONAL CONTOURED FACE
W/ OPAQUE BACKGROUND PROVIDES
AN INDIVIDUAL LETTER APPEARANCE

QQ D-3

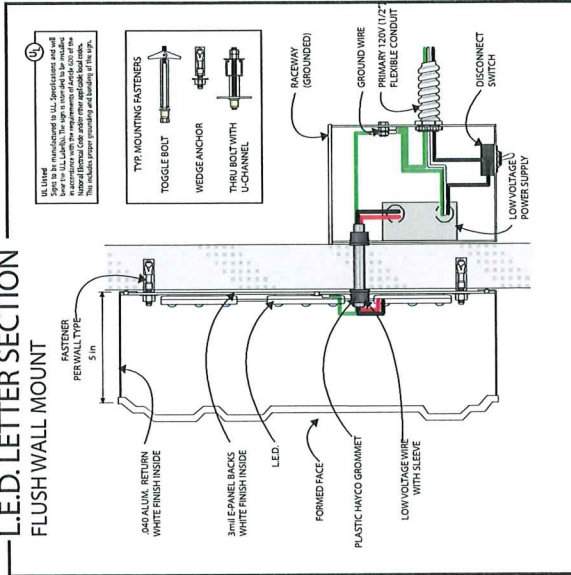
A D

QTY 2: LED Illuminated Wall Sign
Background is opaque- only copy lights.

(13.8 SqFt)

Duck is 0% of entire logo

L.E.D. LETTER SECTION FLUSH WALL MOUNT



FAIRMONT
SIGN COMPANY
3750 East Outer Drive
Detroit, MI 48234
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www.fairmontsign.com

Client:

Quick Quack
CAR WASH

Quick Quack Car Wash #33-070
N Main St & San Juan Grade Rd
Salinas, CA 93906

Date: 8/4/25

File: Accounts/Misc/Quick Quack/Elev/
33-070 Salinas, CA

Designer: RNB

Scale: NA

Job#: 00000
Sheet#: 6 of 9

Revision # 6
Date: 11-25-25

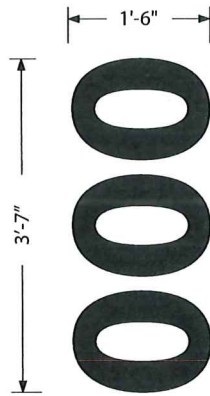
Revision Description:

Customer Approval:

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ALL DIMENSIONS TO BE
FIELD VERIFIED PRIOR TO
INSTALLATION

NOTE: Renderings below utilize sample dimensions.



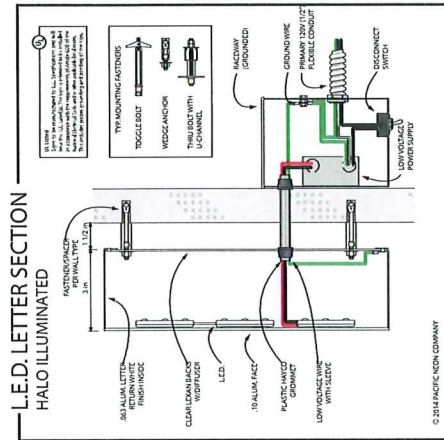
QQNUM18-3

QTY 1: Reverse Pan Channel LED Halo Illuminated Numerals

Area for this sign not included in overall signage area calculation
NOTE: Address must be confirmed prior to manufacturing.

Material Schedule

Numerals
Fabricated aluminum, reverse pan channel construction with faces and returns painted Black, satin finish. Backs to be Clear Lexan with 1-1/2" stand-offs to peg off numerals from building fascia. Numerals to be internally illuminated with White LEDs.



ADDITIONAL INFORMATION

 **FAIRMONT**
SIGN COMPANY

3750 East Outer Drive
Detroit, MI 48234
t: 313.368.4000 f: 313.368.9335
www.fairmontsign.com

Client

Quick Quack
CAR WASH

Quick Quack Car Wash #33-070
N Main St & San Juan Grade Rd
Salinas, CA 93906

Date: 8/4/25

File: Accounts/Misc/Quick Quack/Elev/
33-070 Salinas, CA

Designer: RNB

Scale: NA

Job# 00000 Sheet# 7 of 9

Revision #	Date:
6	11-25-25

Revision Description:

Customer Approval:

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UNLESS OTHERWISE NOTED, ALL COLORS PORTRAYED ARE REPRESENTATIVE ONLY.

**ALL DIMENSIONS TO BE
FIELD VERIFIED PRIOR TO
INSTALLATION**

NOTE: Renderings below utilize sample dimensions.

QQ C-1



C E

QTY 2: LED Illuminated Wall Sign

Background is opaque- only copy lights.

(49.9 SqFt)

Duck is 23% of entire logo

Vinyl Film Color Schedule

	(A)	(B)	(C)	(D)
3M 3630-22	Black	3M 3730-156 Vivid Green	3M 3630-015 Yellow	3M 3630-84 Tangerine Orange

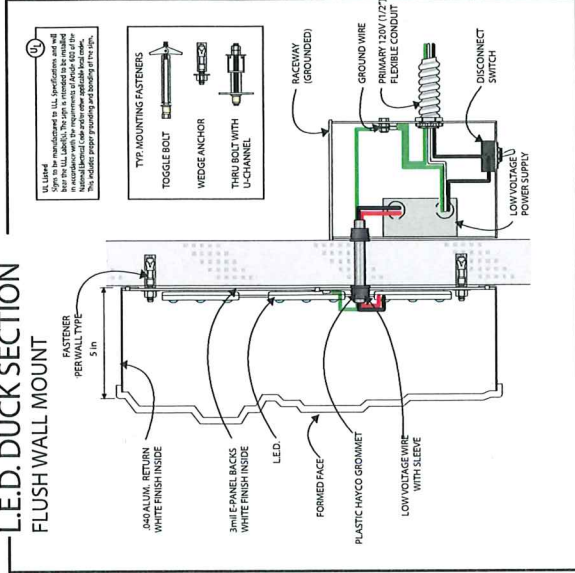
Material Schedule

Fabricated aluminum, cloud-shaped channel construction. Face to be White acrylic with 3M vinyl film overlays (see color schedule). Returns and trimcap to be painted White. Cabinet to be internally illuminated with White LEDs.

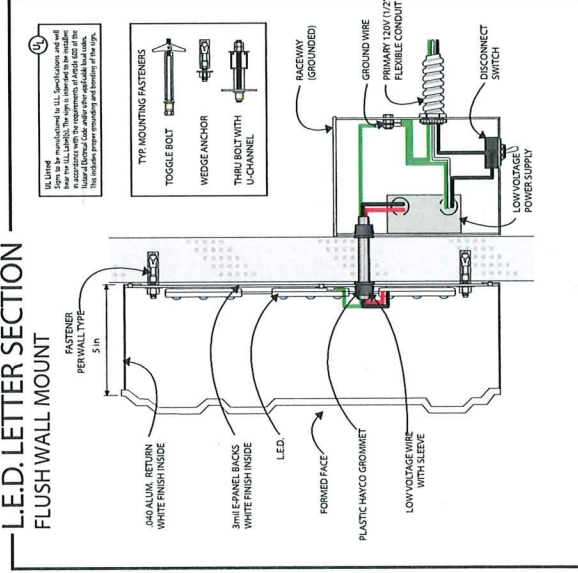


**THREE DIMENSIONAL CONTOURED FACE
W/ OPAQUE BACKGROUND PROVIDES
AN INDIVIDUAL LETTER APPEARANCE**

**L.E.D. DUCK SECTION
FLUSH WALL MOUNT**



**L.E.D. LETTER SECTION
FLUSH WALL MOUNT**



FAIRMONT
SIGN COMPANY
3750 East Outer Drive
Detroit, MI 48234
t: 313.368.4000 f: 313.368.9335
www.fairmontsign.com

Client:

Quick Quack
CAR WASH

Quick Quack Car Wash #33-070
N Main St & San Juan Grade Rd
Salinas, CA 93906

Date: 8/4/25

File: Accounts/Misc/Quick Quack/Elev/
33-070 Salinas, CA

Designer: RNB

Scale: 1/4"

Job# 00000

Sheet# 8 of 9

Revision # 6

Date: 11-25-25

Revision Description:

Customer Approval:

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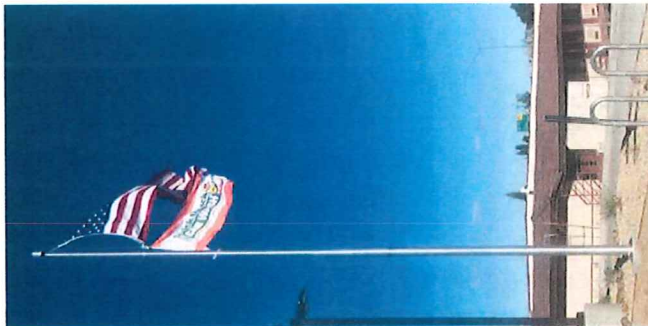
ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO INSTALLATION

Quick Quack | Salinas, CA

NOTE: Renderings below utilize sample dimensions.

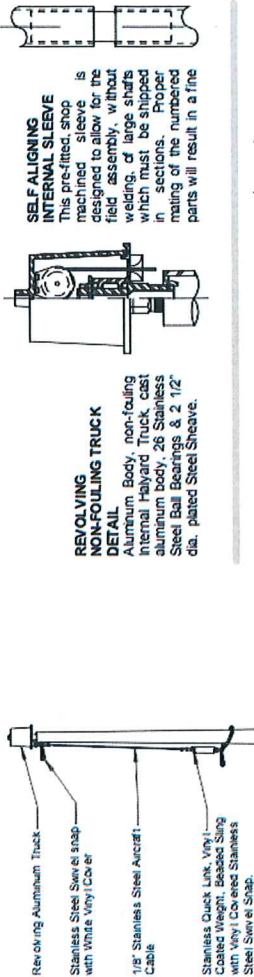


4' x 6' Flag Provided by FSC



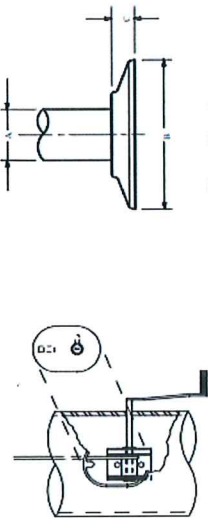
PROPOSED

F QTY 1: Flag Pole



REVOLVING NON-FOULING TRUCK DETAIL

SELF ALIGNING INTERNAL SLEEVE
This pre-fitted, snap machined sleeve is designed to allow for the field assembly, without welding, of large shafts which must be shipped in sections. Proper mating of the numbered parts will result in a fine



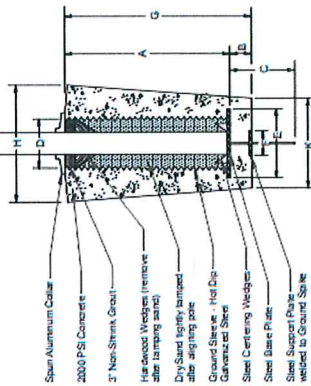
Stainless Steel Winch
Direct Drive, Lockable in any position, Access Door with Six Tumbler Cylinder

Spun Aluminum Standard Flash Collar
A 5'-8" 15" 2.75"
B
C

FOUNDATION DIMENSIONS

Exposed Height	A	B	C	D	E	F	G	H	K
30"	3'	6"	18"	10"	12"	4"	36"	30"	24"

These recommended foundations are only minimums. Dimensions may vary according to soil and wind conditions at location of installation.



Exposed Height	Overall Height	Diameter	Wall Thickness	Length	Shaft Dia.	Ship Sections	Ground Sleeve	Flag Size	Shipping Weight
HTS30'	33'	6"	3.5"	156"	173"	1 or 2	10"	5'x8'	224#

FAIRMONT
SIGN COMPANY
3750 East Outer Drive
Detroit, MI 48234
t: 313.368.4000 f: 313.368.9335
www.fairmontsign.com

Client:

Quick Quack
CAR WASH

Quick Quack Car Wash #33-070
N Main St & San Juan Grade Rd
Salinas, CA 93906

Date: 8/4/25

File: Accounts/Misc/Quick Quack/Elev/
33-070 Salinas, CA

Designer: RMB

Scale: NA

Job# 00000 **Sheet#** 9 of 9

Revision # 6 **Date:** 11-25-25

Revision Description:

Customer Approval:

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ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO INSTALLATION



City of Salinas
SALINAS FIRE DEPARTMENT

Fire Prevention Division – Office of the Fire Marshal
 200 Lincoln Avenue • Salinas, California 93901
 (831) 758-7466 • fireprevention@ci.salinas.ca.us

Fire Plan Review Notes

Date:	July 1, 2025 2nd Review 9/2/25
Project Number	SPR2025-007
Project Name	Quick Quack Carwash
Address	North Main St. at Madrid St.
Project Description	New Express Carwash facility - 3,588 sq. ft. carwash, 3300 sq. ft. canopy, 1500 sq. ft. canopy
Plan Review Sequence	1st -Review 2nd Review

Plans for the above-referenced project have been reviewed.

Correction items listed below have been specified on the revised plans for SPR2025-007.

The remaining information serves as conditions of approval and shall be fulfilled during the building permit stage of the project.

- 1. Fire Hydrant Required** – A new public fire hydrant is required to be installed on the sidewalk at the location shown below and supplied by the California Water Service public water system. The hydrant location, specifications and blue reflector identification shall be located pursuant to City of Salinas Standard Plans #33, #34, #37B and 38 (attached).

RESPONSE REQUIRED:

New Public Hydrant Required at this location on street side of property line, spacing per City of Salinas Standard Plan #33

- a. The hydrant location shall be added to the utilities page of the planning project plans submitted for SPR2025-007.

9/2/25 – RESOLVED - hydrant icon shown on Sheets 1, 3, 7, 9, 10

- b. Prior to issuance of building permit, detailed water system improvement plans for the fire hydrant installation shall be prepared in accordance with the requirements of California Water Service during the building permit phase. Approval of the Salinas Fire Department shall be obtained for the location of the hydrant and fire flow calculation prior to the plans and fire hydrant application submittal to California Water Service.
- c. Prior to final fire inspection, the hydrant shall be installed and placed into service.

2. **Fire Flow** – The minimum fire flow for this project shall be 1,500 gallons per minute for a duration of 2 hours. This fire flow rate and duration apply to the building with no automatic fire sprinkler system. Fire flow shall be supplied by the California Water Service public water system.

RESPONSE REQUIRED:

- a. A note shall be added to the planning project plans for SPR2025-007 indicating that the fire flow required for this project is not less than 1500 gallons per minute with a residual pressure of 20 psi for a duration of 2 hours.

9/2/25 – RESOLVED – Note is printed on Sheet 9 under “NOTES”

- b. Prior to issuance of building permit, detailed water system improvement plans for the fire hydrant installation shall be prepared in accordance with the requirements of California Water Service. Salinas Fire shall approve the location of the hydrant and fire flow calculation prior to the plans and fire hydrant application submittal to California Water Service.
- c. Prior to final fire inspection, the hydrant shall be installed and placed into service.

3. **Fire Department Access Road** – Fire department access road standards shall be met for this site as follows:

Fire Access Roads - Fire apparatus access roads shall be provided and maintained in accordance with the version of California Fire Code Section 503, in effect at the time of the building permit application. All fire apparatus access roads shall consist of all-weather surface consisting of asphalt, concrete, or other approved all-weather driving surface capable of supporting the imposed load of Salinas Fire Department fire apparatus weighing at least 75,000 pounds, and as approved by the City Engineer and Fire Marshal. At the time of construction, a construction vehicle access road capable of accommodating fire equipment loads and turning movements, identified by the Fire Chief, shall be provided before combustible materials can be delivered to the site.

RESPONSE REQUIRED:

- a. Include the general specification for the fire access road design to this standard on the planning project plans for SPR2025-007.

9/2/25 – RESOLVED – fire access road specification is shown on Sheet 3.

- b. Prior to issuance of building permit, detailed roadway improvement plans that comply with these standards shall be prepared and incorporated into the building permit plan submittal.
- c. Before combustible materials can be delivered to the site, construction vehicle access road capable of accommodating fire equipment loads and turning movements shall be provided.
- d. Prior to final fire inspection, the roadway construction shall be complete and placed into service.

4. **Premises Identification** – Address numbers shall be posted on the building pursuant to the City of Salinas Municipal Code as follows:

All building addresses shall be visible from the street which fronts the building. This street may be the public street for which the address is given, or it may be the private roadway that fronts the building and allows access to the building. To facilitate rapid response to an emergency at a building or complex, the addresses shall be clearly visible to the emergency responders from the road or street.

Where a building is set back from the street or road, the address number or letter shall be determined for both the street approach and on the building, in accordance with the following standards:

(1) Zero to thirty-foot distance: four inches minimum height and one-half inch minimum stroke width.

(2) Thirty-one to fifty-foot distance: six inches minimum height and three-fourths inch minimum stroke width.

(3) Over fifty-foot distance: twelve inches minimum height and one and one-fourth inch to one and one-half inch minimum stroke width as determined by the fire chief.

All addressing shall be on a contrasting background color, shall be reflective and/or illuminated, and distances noted above shall be measured from the curb of the roadway.

RESPONSE REQUIRED:

- a. Add the address specifications listed above on the plan for SPR2025-007.
9/2/25 – RESOLVED – Address keynote and detail shown on Sheet A3.10.
- b. At the time of building permit application, ensure the note is printed on the construction plans submittal.
- c. Prior to issuance of building permit, temporary address numbers shall be posted at the site.
- d. Prior to approval of final fire inspection permanent address numbers shall be posted at the site.

5. **Knox Box and Gate Access** – The site shall be provided with Knox rapid entry system devices as follows:

- a. **Knox Key Boxes** – One Knox key box shall be installed and maintained on the new building near the main entry doors.

b. **Knox Key Switches and/or Padlock** – Each locked entry gate shall be fitted with a Knox device as follows:

- i. **Electric gate** – Knox key switch to override the keypad or
- ii. **Manual gate** - Knox padlock to provide emergency access without damaging the gate.

RESPONSE REQUIRED: Include this Knox box and the Knox key switch/padlock detail on both the subsequent planning project submittal and the building permit submittal.

9/2/25 – RESOLVED – Keynote and detail shown on Sheet A3.11.

Plans reviewed by: DOROTHY PRIOLO, Deputy Fire Marshal



City of Salinas

COMMUNITY DEVELOPMENT DEPARTMENT

65 W. Alisal Street • Salinas, California 93901

(831) 758-7251 • (831) 758-7938 (Fax) • www.ci.salinas.ca.us

PLANNING APPLICATION REVIEW - BUILDING

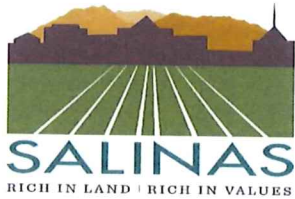
Date: 6/27/2025
Application: PUD2025-002
Address: 1340 Northridge
Scope: Amendment to PUD 2014-001 (Quick Quack) -Rel to SPR 2025-007
Contact: Contact
Planner: Thomas Wiles

1. Soils report for proposed work will be required at building permit submittal.
NO RESPONSE REQUIRED. REQUIREMENTS TO BE VERIFIED AT BUILDING PERMIT SUBMITTAL.
2. The occupancy classification, construction types, square footage, building area analysis, fire sprinklered and/or alarm for all existing and proposed structures for Specific Building comments will be generated upon building permit submittal.
Building permit shall comply with California Code of Regulations, Title 24
NO RESPONSE REQUIRED. REQUIREMENTS TO BE VERIFIED AT BUILDING PERMIT SUBMITTAL.
3. Specific Building comments will be generated upon building permit submittal.
Building permit shall comply with California Code of Regulations, Title 24.
NO RESPONSE REQUIRED

(End of Comments)

Raul Ortega
City of Salinas Permit Services
Community Development Department

Exhibit 



City of Salinas

DEVELOPMENT ENGINEERING (PW) • 65 West Alisal Street • Salinas, California

Phone: (831) 758-7251 • www.cityofsalinas.org

ENGINEERING REVIEW

PURPOSE: SPR2025-0007 & PUD2025-002

LOCATION: 1340 Northridge Mall

APPLICANT: Vance Shannon

ENGINEER: Leticia Alvarez – Kimley Horn

DATE: 6/15/2026

PLANNER: Thomas Wiles

REVIEWER: Fernando Rizo, QSP/QSD

DEVELOPMENT PROPOSAL: Construct (n) 3,337 SF Vehicle Carwash with outdoor Vacuums

RECOMMENDATION: Approved with Conditions

SWDS CATEGORY: Priority

SWDS THRESHOLD: Performance Requirements 1, 2, & 3

NPDES THRESHOLD: High-Priority

DEVELOPMENT REVIEW: *Development Review Submittal prepared by Kimley-Horn & Associates Inc. dated April 10, 2026.*

DEVELOPMENT IMPACT FEES:

Development Impact Fees are estimated at \$68,589.84 for the proposed development. Fees are assessed at building permit and required to be paid prior to permit issuance. Fees are based on the Traffic Assessment Report dated April 11, 2025, prepared by Armen Hovanessian Transportation Consulting.

CONDITIONS OF APPROVAL

1. Offsite Improvements – Any construction, reconstruction, or closure of the right of way shall require an encroachment permit.
2. Offsite Improvements - Applicant shall reconstruct any broken or damaged existing sidewalk and curb and gutter.
3. Offsite Improvements - The applicant shall install street trees at a maximum 60-ft spacing based on street frontage, per City Standard Plans.
4. Stormwater Compliance – Prior to issuance of a building permit, applicant shall provide a final stormwater control plan consistent with Appendix B of SWDS.
5. SWDS Compliance – A Stormwater Quality (SWQ) Permit will be required prior to any land disturbance.
6. Utility Plan – Provide utility plan showing grate, invert, pipe size and slope on all proposed utilities. Provide details for proposed bioretention basin overflow.
7. SWDS Compliance – Landscaping plans shall be submitted for proposed bio-retention facility and these shall comply with City of Salinas 2021 Stormwater Design Standards.
8. NPDES/Site Disturbance – Prior to issuance of a building/grading permit, applicant shall provide a SWPPP for review. Provide complete information including QSP information, required signatures and construction schedule. Provide completed erosion and sediment control checklist.

Exhibit 01

9. Geotechnical Report – Provide a site-specific geotechnical report which includes infiltration testing at the proposed infiltration depths.
10. Site Plan – Trash Enclosure shall conform to City of Salinas Standard Plan 57A and 57B.
11. Addressing – Prior to building permit issuance, any change in addressing shall be processed via an addressing change application. Updated addressing exhibits shall be provided and any unutilized addressing shall be retired. Address assigned to the proposed building will be 1080 Northridge Mall.

NPDES Compliance – Applicant Contractor shall provide construction BMPs for site improvements.

Notice: The Conditions of Approval for this Site Plan Review include certain fees and development requirements. Pursuant to Government Code Section 66020 (d)(1), this hereby constitutes written notice stating the amount of said fees, and describing the development requirements. The applicant is hereby notified that the 90-day appeal period in which he/she/they may protest these fees and development requirements, pursuant to Government Code Section 66020 (a), begins on the date the office land use permit is approved. If applicant files a written protest within this 90-day period complying with all requirements of Section 66020, he/she/they will be legally barred from challenging such fees and/or requirements at a later date.

DEVELOPMENT FEES				
COMMERCIAL BUILDINGS (2025-2026)				
(Including Hotels/Motels/Schools)				
Address: 1080 Northridge Mall (1340 Northridge Mall)			Permit #: ESTIMATE ONLY	
Date: 06/30/25			Bldg. Area: 3,337 sf	
1. STREET TREE FEE:			2304.00.0000-56.5110	
0	Street Frontage (LF)	multiplier (per 60' frontage) \$426:	\$ -	Not assessed if provided by applicant
TOTAL STREET TREE FEE DUE:			\$ -	
2. SANITARY SEWER FEE:			2301.00.0000-56.5120	
		Building Square Footage:	3337	
		\$1.14/sf (Commercial):	\$ 3,804.18	
		\$0.57/sf (Industrial):	\$ -	
TOTAL SANITARY SEWER FEE DUE:		\$ 3,804.18		
3. STORM DRAIN FEE:			2301.00.0000-56.5130	
69,374	sf property	43,560 sf/acre:	1.593	
		@ \$8,978/acre:	\$ 14,298.43	
		(School Rate) @ \$7,161/acre:	\$ -	
TOTAL STORM DRAIN FEE DUE:		\$ 14,298.43		
4. TRAFFIC IMPACT FEE:			2306.00.0000-56.5150	
		Building Square Footage:	3,337	
Use:		Divided by 1,000 :	3.337	0.000
Category:		Trip Rate (TFO):	0	0.000
		Trips:	64	0
		Total Trips:	64	
		@ \$470/trip (\$680/trip in FGA):	\$ 30,080.00	Estimate per Traffic Assessment Report dated April 11, 2025 prepared by Armen Hovanessian Transportation Consulting.
TOTAL TRAFFIC IMPACT FEE DUE:		\$ 30,080.00		
5. REGIONAL DEVELOPMENT IMPACT FEE			8809.81.8157-57.8640	
Fee assessed by the Transportation Agency for Monterey County		\$ 15,391.72	Per TAMC fee schedule	
6. PUBLIC FACILITIES IMPACT FEE				
FIRE IMPACT FEE \$645/ksf (Commercial) =		\$ 2,152.37		
POLICE IMPACT FEE \$858/ksf (Commercial) =		\$ 2,863.15		
TOTAL PUBLIC FACILITIES IMPACT FEE		\$ 5,015.51		
TOTAL DEVELOPMENT FEES DUE:			\$ 68,589.84	

Effective: July 1, 2025

Valid through: June 30, 2026

Regional Development Impact Fees

Fee Calculation Worksheet

Last updated July 1, 2024

Project Name:

Date:

Select the Benefit Zone:	GREATER SALINAS
Select the Agency:	City of Salinas

Select the Land Use Type:	Fee Schedule	Enter the # of Units	Fees
1	\$0.00		\$0.00
2	\$0.00		\$0.00
3	\$0.00		\$0.00
4	\$0.00		\$0.00
5	\$0.00		\$0.00

Calculate by Fee per Trip (Only use for appeals):

\$442 \$28,294.93

Subtotal:		\$28,294.93
Apply discount:	45.60%	\$12,903.21
Apply credits:		\$0.00
Total Regional Fee:		<u>\$15,391.72</u>

Accessory Dwelling Units (ADU) - Senate Bill 13 (Wieckowski, 2019)

ADUs under 750 square feet are exempt from impact fees.

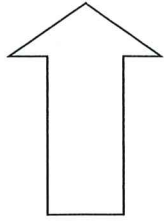
ADUs over 750 square feet are assessed impacts fees that are proportional to the size of the primary residence.

1. In the worksheet above, for "Select the Land Use Type", choose "Single-Family"
2. Next, calculate the proportion of the ADU to the main residence and enter that figure in "Enter the # of Units"

Primary Residence - Square Feet:

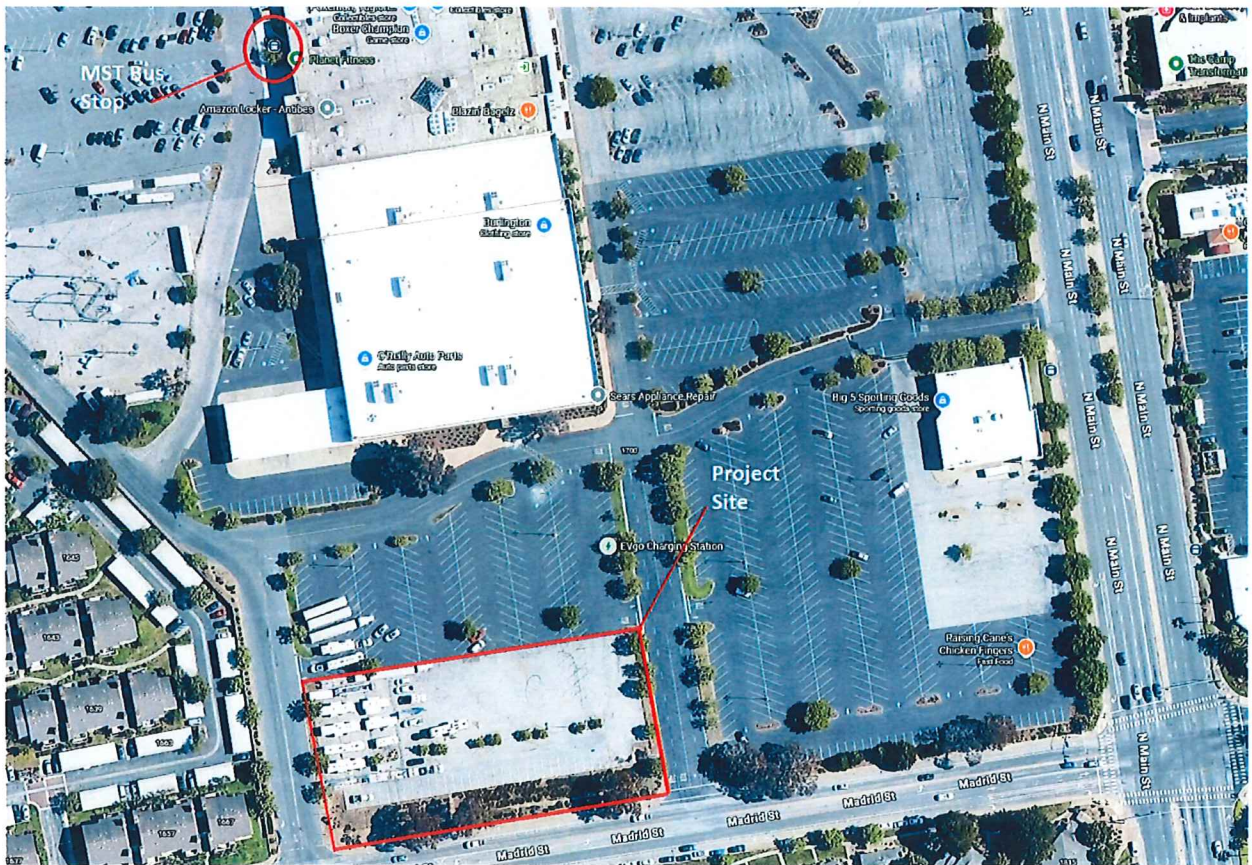
ADU - Square Feet:

Proportion:



North

AB 2097 Vicinity Map



PLANNED UNIT DEVELOPMENT PERMIT 2025-002 1340 Northridge Mall

Exhibit "P-1"