

CITY OF SALINAS

CONDITIONAL USE PERMIT NO. 84-9

ISSUED TO: Owner: Sundean Foundation
Applicant: C & H Investments, Mr. Al Havins

FOR USE: To operate a interior mini-warehouse within an 11,900 square foot portion of a 32,000 square foot warehouse and to allow the redevelopment of a commercial/manufacturing warehouse facility for speculative uses

ON PROPERTY LOCATED AT: 32 North Main Street

Assessor's Parcel No.: 002-181-01
Zoning District: "M-G" (General Manufacturing)

ENVIRONMENTAL REVIEW ACTION: Exempt

PUBLIC HEARING DATE: None. Permit issued pursuant to Section 37-252.5 of the Salinas City Code
EXPIRATION DATE: Permit to run with the land

This permit is issued pursuant to Section 37-251 and 37-252.5, Salinas City Code, under the following terms and conditions:

Right to Operate/Develop

1. The permittee shall have the right to construct, operate, and maintain an 11,900 square foot portion of an existing warehouse building for interior mini-warehouse facility and to maintain the remaining approximate 20,100 square foot portion of the warehouse building for speculative uses on the above-described property in accordance with the following Exhibits attached hereto and made a part of this permit:

Exhibit "A"-Site Plan

Exhibit "B"-Floor Plan-interior mini-warehouse

Exhibit "C"-Floor Plan-speculative warehouses

Exhibit "D"-Building Elevations-speculative warehouse

Exhibit "E"-Building Elevation perspective

Exhibit "F"-Fire Department memorandum

Limitations on Development and Use

2. No construction or development other than that described above and shown on the attached Exhibits shall be allowed on the subject property unless and until an amendment to this permit has been approved by the Planning Commission, except that minor modifications may be authorized by the Zoning Administrator where they are consistent with the intent and purpose of this Conditional Use Permit.

3. All uses within the speculative warehouse portion of this building shall be limited to those uses listed as principally permitted in the "M-G" (General Manufacturing) zoning district. No other uses shall be allowed unless the property is rezoned to some other zoning district.

Architectural Design and Materials

4. Construction shall conform to the architectural design and materials shown on the attached Exhibits.
All structures on premises shall be finished in materials or painted in colors of a uniform and compatible design. Final approval is required prior to issuance of building permits.

Fire Protection Requirements

5. All requirements of the Salinas Fire Department and Titles 19, 24, and 25 of the California Administrative Code must be met prior to occupancy/final building inspection, including but not limited to the requirements set forth in a memorandum dated March 30, 1984 and attached hereto as Exhibit "F".

Building and Safety Requirements

6. All requirements of the Building Inspection Division shall be met prior to occupancy. All work of a substantial nature shall require building permits.
7. As required by City Code, the existing structure(s) shall be brought into conformance with current City standards for safety and construction.

Crime Prevention Requirements

8. Prior to issuance of any building permit, the applicant shall consult with the Police Department regarding preparation of a crime prevention/security system.

Lot Consolidation

9. A parcel map providing for the consolidation of all parcels shall be approved by the Salinas Zoning Administrator and recorded by the County Recorder prior to issuance of any building permits.

Parking

10. The following requirements shall be met prior to occupancy of the building:

- a. The parking area shall be graded, surfaced, and drained in accordance with City standards.
 - b. A minimum of 43 on-site parking spaces (9 feet x 19 feet), measured along the angle of parking, shall be provided in accordance with City standards.
 - c. Parking spaces shall be striped and provided with wheel stops to City standards. Six-inch high concrete curbs shall be installed adjacent to drives and parking areas where necessary to protect pedestrian walkways and landscaped areas.
 - d. A minimum of 1 loading stall minimum size 12 feet x 40 inches shall be provided in accordance with City standards.
11. The entire parking area shall be patched and resurfaced as required.

Signing

12. All signing for the site shall conform to Section 37-236.37 of the Salinas City Code. A sign plan shall be submitted to the Zoning Administrator for review and approval prior to occupancy. A sign permit is required prior to construction of any signs for the use.
13. No banners, pennants, posters, placards, or other temporary signs may be displayed on any building, wall or fence, or in the parking area, and no such signs may be attached to the inner surface of any window with the intent or effect of being viewed from the outside.

Landscaping

14. A landscape and irrigation system shall be required. Within 30 days from issuance of a building permit, a detailed landscape and irrigation plan shall be submitted to the Zoning Administrator for review and approval. Said plans shall include the following minimum requirements:
- a. Location, type, size, and names of all plant materials and ground covers.
 - b. A permanent irrigation system shall be installed. Said shall show size and location of irrigation pipe, heads, bibs, and backflow devices.

- c. All landscaping and irrigation systems shall be installed within 30 days after Final Building Inspection.
- d. Street trees shall be planted adjacent to Lake Street and Bridge Street frontages. Variety, size and location to be provided by the Salinas Recreation-Park Department.

Lighting

- 15. All exterior lighting shall be confined to the site and designed to reflect away from all public rights-of-way and surrounding property.

Trash Area

- 16. An enclosed trash area shall be constructed on the site. Said trash enclosure shall be constructed to a height of 6 feet, utilizing solid material matching the building veneer with a solid wood door of equal height with an automatic latch. The contents thereof shall not be visible from adjacent properties or public rights-of-way. All trash, litter, and debris shall be kept inside the trash enclosure.

Fencing

- 17. Details of all perimeter fencing shall be submitted to the Zoning Administrator for review and approval prior to issuance of final building occupancy and shall consist of a unified style and design.

Public Improvements

- 18. All damaged and hazardous sidewalks and driveways identified by the Department of Public Works shall be reconstructed to City standards prior to issuance of a Certificate of Occupancy.
- 19. All existing driveways not a part of this project shall be removed and replaced with curb, gutter, and sidewalk to the City standards. All existing damaged curb, gutter, and sidewalk shall be replaced to City standards.
- 20. All work in the public rights-of-way shall require an Encroachment Permit issued by the Public Works Department.
- 21. The applicant shall construct full public sidewalk along Lake Street.
- 22. The applicant shall consult with Public Works Department to resolve the status of the existing alley right-of-way presently

located within the existing building. This may include submittal of a title report to the City Public Works Department.

23. The address for this property should be changed to the (Bridge) Pajaro Street frontage.

Building, Landscaping and Site Maintenance

24. All parking areas and grounds shall be regularly maintained and kept free of weeds, litter, and debris, and all traffic signs and pavement markings shall be clear and legible at all times.
25. All exterior building and wall surfaces shall be regularly maintained, and any damage caused by weathering, vandalism, or other factors shall be repaired in conformance with approved designs, materials, and finishes.

Use Permit Shall Run With The Land

26. This Use Permit shall run with the land and all terms and conditions herein shall be considered conditions of any subsequent sale or lease of all or any portion of said property.

Change In Occupancy Or Use

27. Any proposed change in the occupancy, use, or physical characteristics of the site or of any building on the site other than that approved herein must be approved in advance of the change by the Zoning Administrator, who may impose such requirements in addition to those set forth herein as may be necessary for the protection of adjacent properties and the public interest. If the Zoning Administrator finds that any proposed change in occupancy or use would represent a substantial deviation from the purposes for which this permit was granted, then such change shall be considered at a public hearing before the Planning Commission as an amendment to this permit.

Conduct of Use

28. Use of the property shall be conducted in such a way that it does not constitute a nuisance to the surrounding neighborhood. If the Planning Commission finds at any time that any use of the property constitutes such a nuisance or is otherwise detrimental to the neighborhood or to the community, such use shall be discontinued or modified as may be required by the Planning Commission. Failure to comply with such direction of the Planning Commission will result in revocation of this permit.

Violation; Revocation

29. Violation of any of the terms and conditions of this permit is unlawful and shall be punishable as a misdemeanor, in accordance with Ordinance No. 1523 (NCS). In addition to the sanctions set forth in Ordinance No. 1523 (NCS), if the Chief of Planning finds that the owner, assigns, agents or representatives of the owner, have violated any of the terms or conditions of this permit, he shall give written notice that if such violations are not corrected or removed within thirty days, the Planning Commission of the City of Salinas will act to consider revoking this permit, and the Planning Commission may then order that this permit be revoked. In the event this permit shall be revoked by the Planning Commission, this action may be appealed to the Council of the City of Salinas within ten days.

Substantial Action Time Limit

30. If substantial action shall not have been commenced to carry out the terms and intent of this permit within one (1) year after the granting hereof, then without further action this permit shall be null and void.

Permit Validation

31. This permit shall be null and void and all terms and conditions shall have no force or effect unless the permit is executed by the permittee(s) and returned to the City of Salinas Community Development Department within 30 days of issuance.

CITY OF SALINAS

Dated: April 27, 1984

Mary L. Nielsen
Chief of Planning

This Conditional Use Permit is hereby accepted upon the express terms and conditions hereof, and the undersigned agrees to strictly conform to and comply with each and all of the said terms and conditions.

4-30-84

Carl Harris

Dated: _____

Applicant: C & H Investments

Consent of Owner

Consent is hereby granted to the permittee to carry out the terms and conditions of this Conditional Use Permit.

Dated: 5/16/84

W. H. Sundean Pres.
Owner: Sundean Foundation

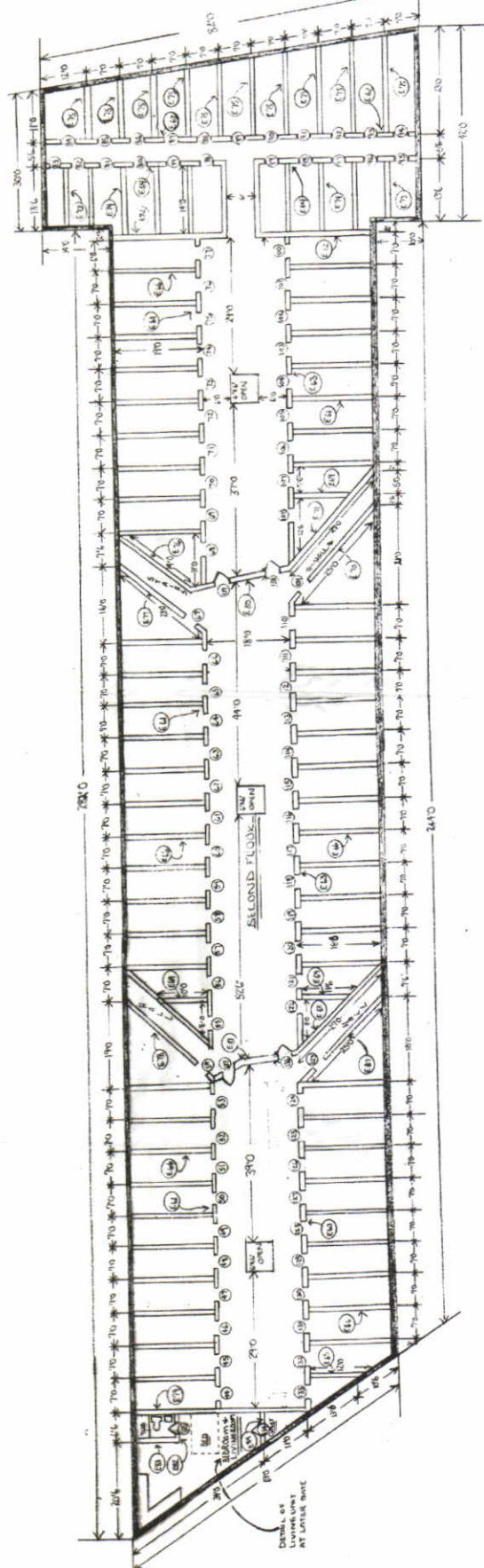
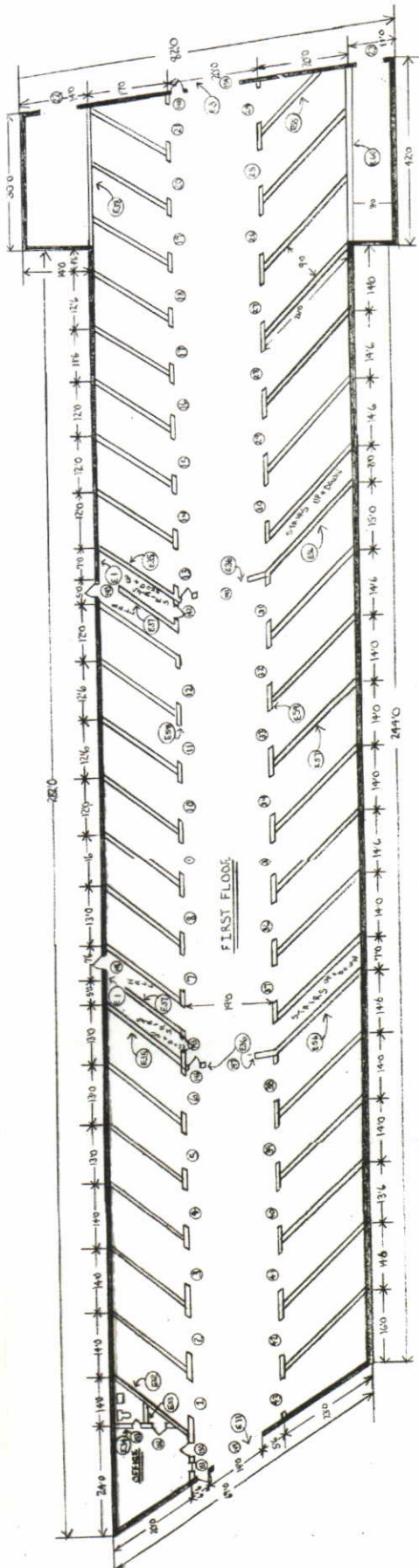
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PROPOSED IMPROVEMENTS
JUN. 22, 1904, BY THE SUPERVISOR
SURREY, CITY OF SALINAS,
MONTEREY COUNTY, CALIF.

1"=20'
PAGE 1

Exhibit 1

RECEIVED
MAY 18 1964
ENTOMOLOGICAL SOCIETY OF AMERICA

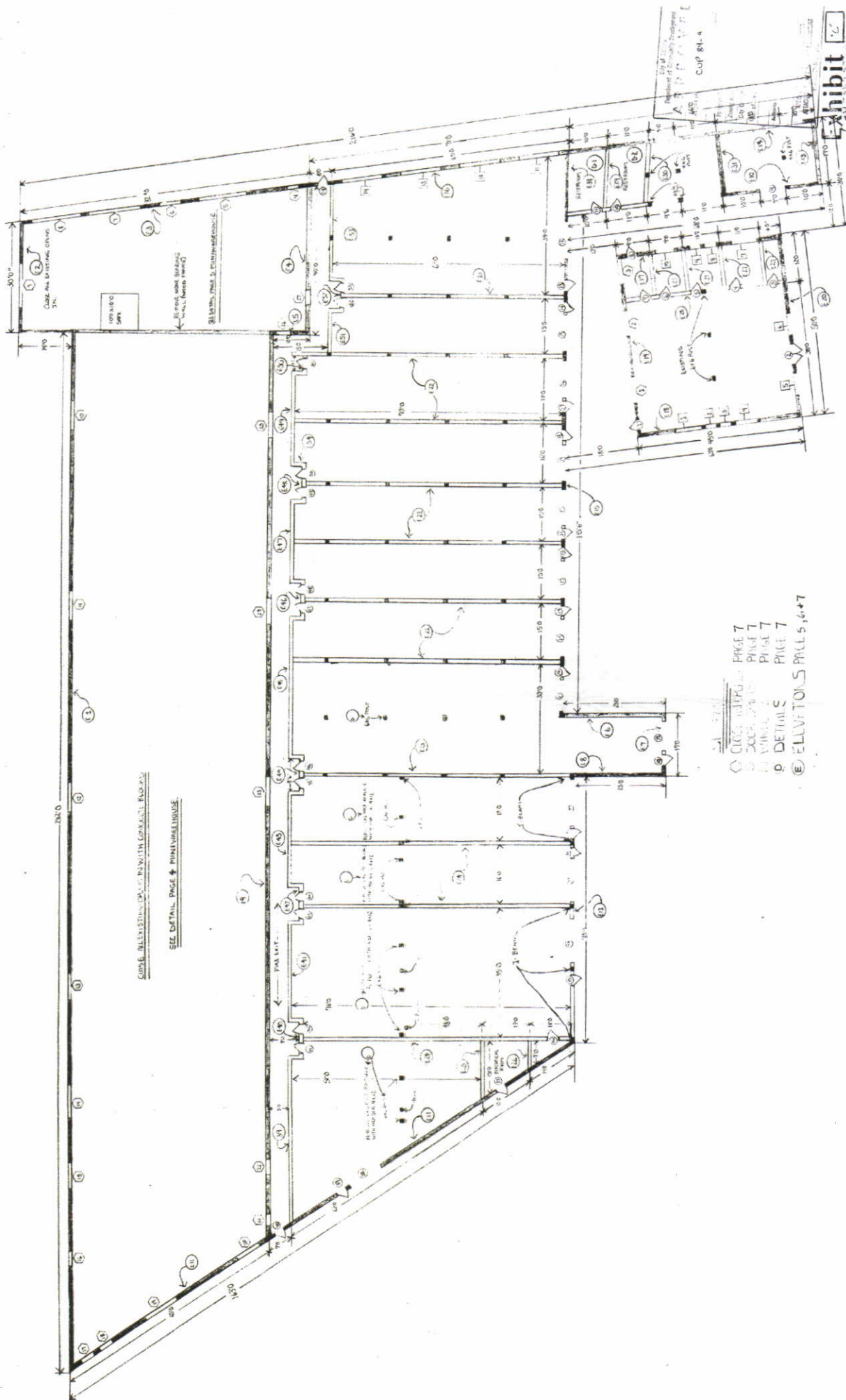


- DOOR DETAILS PAGE 7
- WINDOWS PAGE 7
- DETAILS PAGE 7
- ELEVATIONS PAGE 5, 6+7

City of Denver
 Department of Planning & Economic Development
 A P P L I C A T I O N
 No. 84-9
 Date of Filing
 Date of Review
 Date of Decision

Exhibit
 CEH INVASIVE SPECIES
 MINATURE HOUSE PLAN
 3/22/10
 PAGE 4

RECEIVED
 MAY 18 1984
 BUILDING DEPT.



CONCRETE FLOORING, 4" MIN. WITH CONCRETE REINFORCING

SEE DETAIL PAGE 4 PINKHOUSE HOUSE

- CIRCULAR ROOM, PRICE 7
- DOOR, PRICE 15
- WINDOW, PRICE 7
- DETAIL S, PRICE 7
- ELEVATIONS, PRICE 5, 6, 7

Exhibit

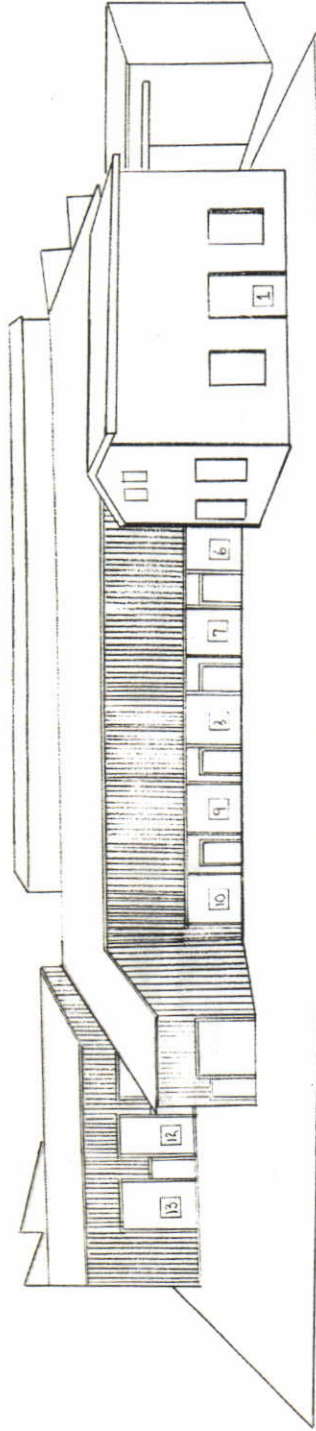
FLOOR PLAN

7/2" x 1/2"

PRICE 3

RECEIVED

MAY 18 1984



City of Salem
Department of Community Development
APPROVED

By: C. J. G. 8/13 Date: 8/13/13

Planning Commission
Planning Board
City Council
Director of Community Development
Assistant

REVISIONS: 1. 8/13/13
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Exhibit 'E'

C+H INVESTMENTS
PARKING LOT ELEVATION
NO SCALE
PAGE 2

RECEIVED
MAY 18 1984

MEMORANDUM

DATE: March 30, 1984

TO: Community Development
Attention: Cres Blasquez

FROM: Fire Department

SUBJECT: REMODEL OLD PET MILK BUILDING - 32 N. Main St.

The Fire Department's comments are as follows:

I. Construction

- A. One-hour throughout.

II. Exiting

- A. Provide a minimum of one man door from each space.
(Note: Hazardous occupancies such as auto repair garages and auto paint shops require a minimum of two exits)
- B. All spaces with occupancy load of more than 50 require a minimum of two exits.
(Note: The occupancy load is based on Table 33-A, Uniform Building Code)
- C. All exit doors will be openable from the inside without a key or any special knowledge or effort.

III. Fire Extinguishers

- A. Provide a minimum of one (2a-10BC rated) fire extinguisher in each space, some areas will require more than one.
- B. Fire extinguisher will be located as plotted by the Fire Department.

IV. Sprinkler System

- A. Sprinkler system will be checked and approved by an approved agency.
- B. Sprinkler system alarm will be connected to an approved supervised location.
- C. The sprinkler system will be extended so that all areas of the building are covered after alterations.
- D. Provide wet stand pipe connections in mini warehouse main corridor (2½")

V. Additional Comments

- A. Additional comments may be made when plans are submitted for plan check.


GEORGE J. HARRIS, FIRE MARSHAL
SALINAS FIRE PREVENTION BUREAU

GJH:cr