

CITY OF SALINAS

CONDITIONAL USE PERMIT NO. 85-22
AMENDING CUP NO. 84-9

ISSUED TO: C & H Investments

FOR USE: To expand a previously approved mini-warehouse.

ON PROPERTY LOCATED AT: 1 Bridge Street (Formerly 32 N. Main)

Assessor's Parcel No.: 002-181-01

Zoning District: "U" (Unclassified)

ENVIRONMENTAL REVIEW ACTION: Exempt

PUBLIC HEARING DATE: N/A, Permit issued pursuant to Section
37-252.5, Salinas City Code.

EXPIRATION DATE: N/A, Permit runs with land.

This permit is issued pursuant to Sections 37-251 and 37-252.5,
Salinas City Code, under the following terms and conditions:

Right to Operate/Develop

1. The permittee shall have the right to expand the previously approved mini-warehouse portion of the development by adding a vehicular access ramp to the second floor, providing storage under the access ramp, and add a manager's apartment on the second floor of the above-described property in accordance with the following exhibits attached hereto and made a part of this permit:

Exhibit "A" - Site Plan

Exhibits "B" and "C" - Floor Plans

Exhibit "D" - Elevations

Limitations on Development and Use

2. No construction or development other than that described above and shown on the attached exhibits shall be allowed on the subject property unless and until an amendment to this permit has been approved by the Planning Commission, except that minor modifications may be authorized by the Zoning Administrator where they are consistent with the intent and purpose of this Conditional Use Permit.
3. There shall be no expansion of the approved use or the addition of new uses unless and until an amendment to this Use Permit has been approved by the Planning Commission.

Architectural Design and Materials

4. Construction shall conform to the architectural design and materials shown on the attached exhibits.

Fire Protection Requirements

5. All requirements of the Salinas Fire Department and Titles 19, 24, and 25 of the California Administrative Code must be met prior to occupancy/final building inspection.

Building and Safety Requirements

6. All requirements of the Building Inspection Division shall be met prior to occupancy. All work of a substantial nature shall require building permits.

Crime Prevention Requirements

7. Prior to issuance of any building permit, the applicant shall consult with the Police Department and develop a crime prevention/security system.

Use Permit Shall Remain in Effect

8. Use Permit No. 84-9 shall remain in full force and effect after issuance of this instrument.

Public Improvements

9. All work in the public rights-of-way shall require an Encroachment Permit issued by the Public Works Department.
10. Public improvements within the development shall be constructed in conformance with plans and specifications submitted to and approved by the City Engineer. Improvement plans shall include provisions for site grading, fire hydrants, sewers, storm drains, paving, sidewalks, curbs, gutters, street lights, and all other facilities necessary to serve the development. All underground utilities shall be included on the final improvement plans.
11. The Main Street frontage road extending from Lake Street to the railroad on the east side of the Main Street underpass shall be patched and seal coated. Repairs shall also be

made to curb, gutter and sidewalk as required by CUP No. 84-9 prior to occupancy of mini-warehouse.

12. Planting areas shall be landscaped in accordance with plans and specifications as submitted to and approved by the Zoning Administrator.

Landscape Maintenance

13. Areas to be Maintained: The following open areas as shown on Exhibit "A" shall be landscaped and maintained:

- A. That area within the public right-of-way, exclusive of the street between North Main Street, and the North Main Street frontage road adjacent to the subject property south of East Lake Street; and
- B. That portion within the public right-of way on the west side of Bridge Street, exclusive of the street adjacent to the subject property.

Description of Maintenance: The following maintenance shall be done within the areas defined above:

- A. Irrigating, fertilizing, weed and a pest control, mowing and *pruning and related maintenance including placement where necessary, of trees, shrubs, lawns, and other vegetation.

*The City street trees shall be pruned only by the City of Salinas or by private contractor approved and under the supervision of the City of Salinas.
- B. Sweeping of sidewalks.
- C. Maintenance of the permanent irrigation system.
- D. Such other work as may be necessary to maintain the landscaped areas free of weeds, trash and debris and all plant material in a healthy, growing condition.

General Provisions:

- A. Landscape improvements within the above-defined areas shall be developed in accordance with plans and specifications submitted to and approved by the Zoning Administrator.

- B. The permittee will not acquire any right or interest other than encroachment permits which may be approved, in the property being maintained.
- C. This condition is subject to revision or cancellation by the City should the need arise.

Use Permit Shall Run With The Land

14. This Use Permit shall run with the land and all terms and conditions herein shall be considered conditions of any subsequent sale or lease of all or any portion of said property.

Permit Validation

15. This permit shall be null and void and all terms and conditions shall have no force or effect unless the permit is executed by the permittee and returned to the City of Salinas Community Development Department within 30 days of issuance.

CITY OF SALINAS

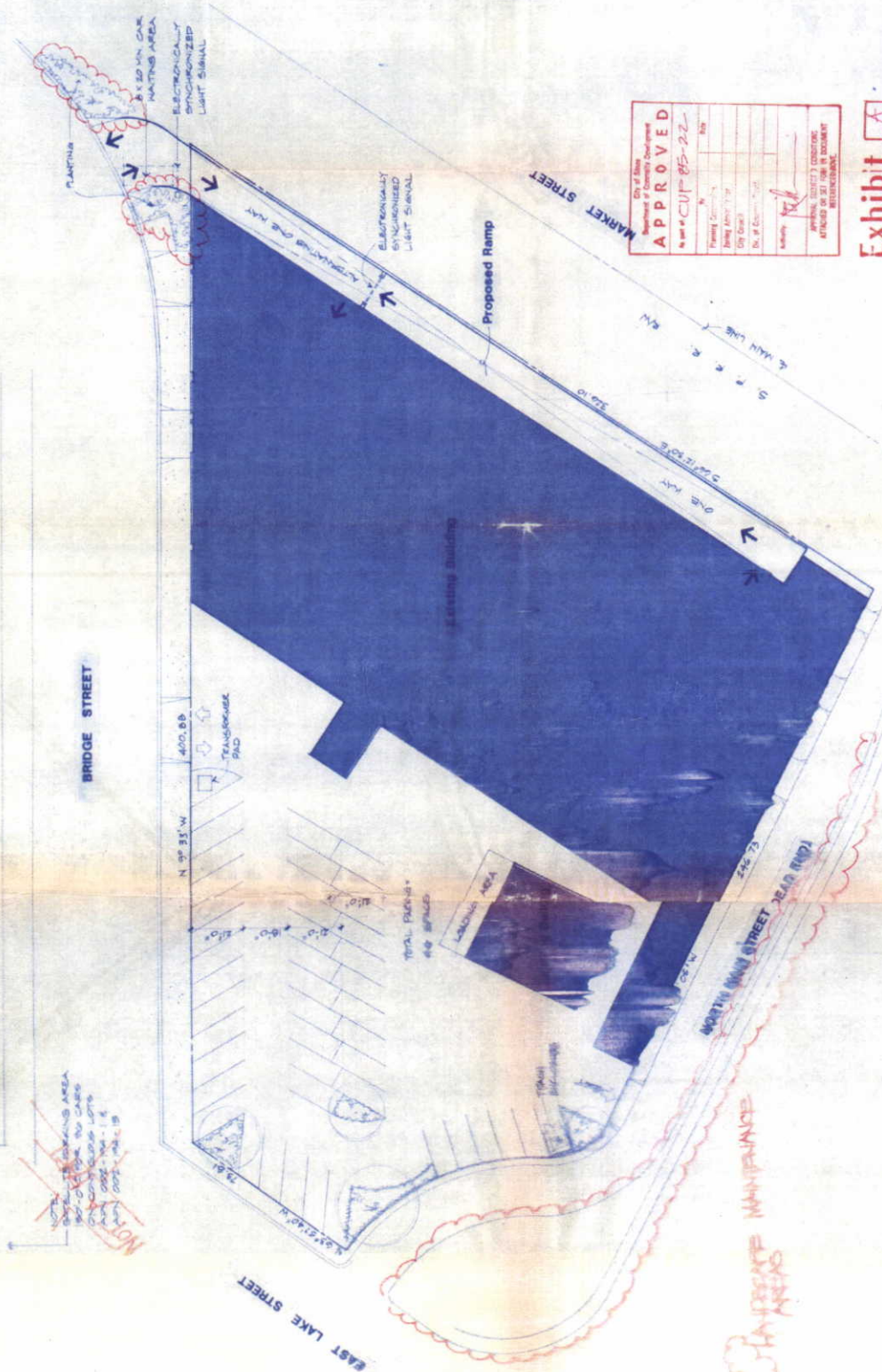
Dated: July 16, 1985

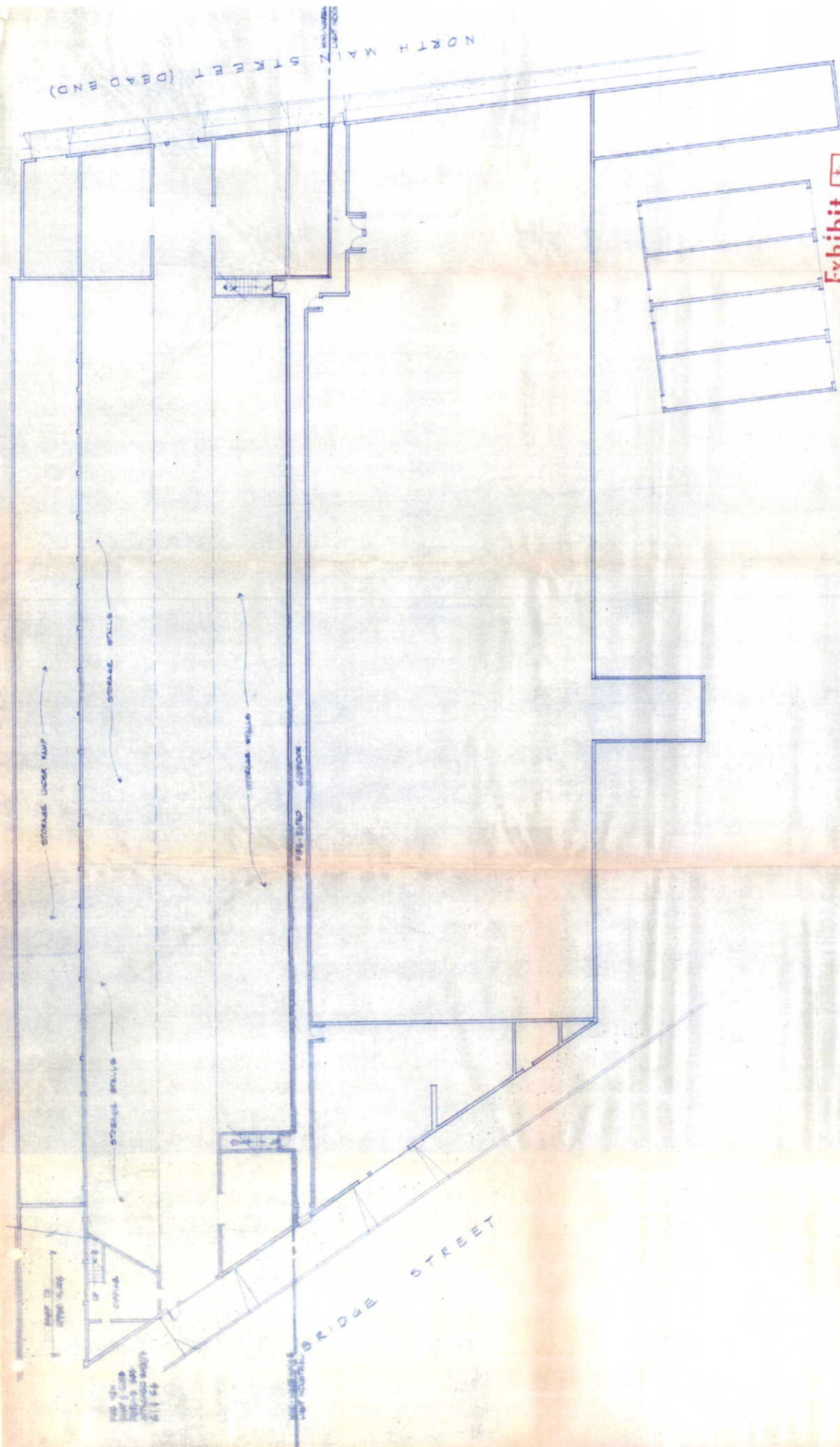
Sandy L. Nelson
Chief of Planning
Secretary to the Planning
Commission

This Conditional Use Permit is hereby accepted upon the express terms and conditions hereof, and the undersigned agrees to strictly conform to and comply with each and all of the said terms and conditions.

Dated: 7-25-85

Vince Cardinalli
Applicant: Vince Cardinalli
C&H Investments





WAREHOUSE RENOVATION FOR C & H INVESTMENT
 Salinas, California

EXHIBIT "B" - Floor Plan - First Floor

A 2
 8527
 MAY 30, 1985

David Elliott
 Architect
 13 West Alisal Street
 Salinas, California 94783
 Tel. 408-422-1881

REVISIONS	BY

PET MILK BUILDING RENOVATION
PHASE II

DATE: MAY 1978
DRAWN BY: J. L. L.
CHECKED BY: J. L. L.
DATE: 10/19
SHEET: C-2
OF 2 SHEETS

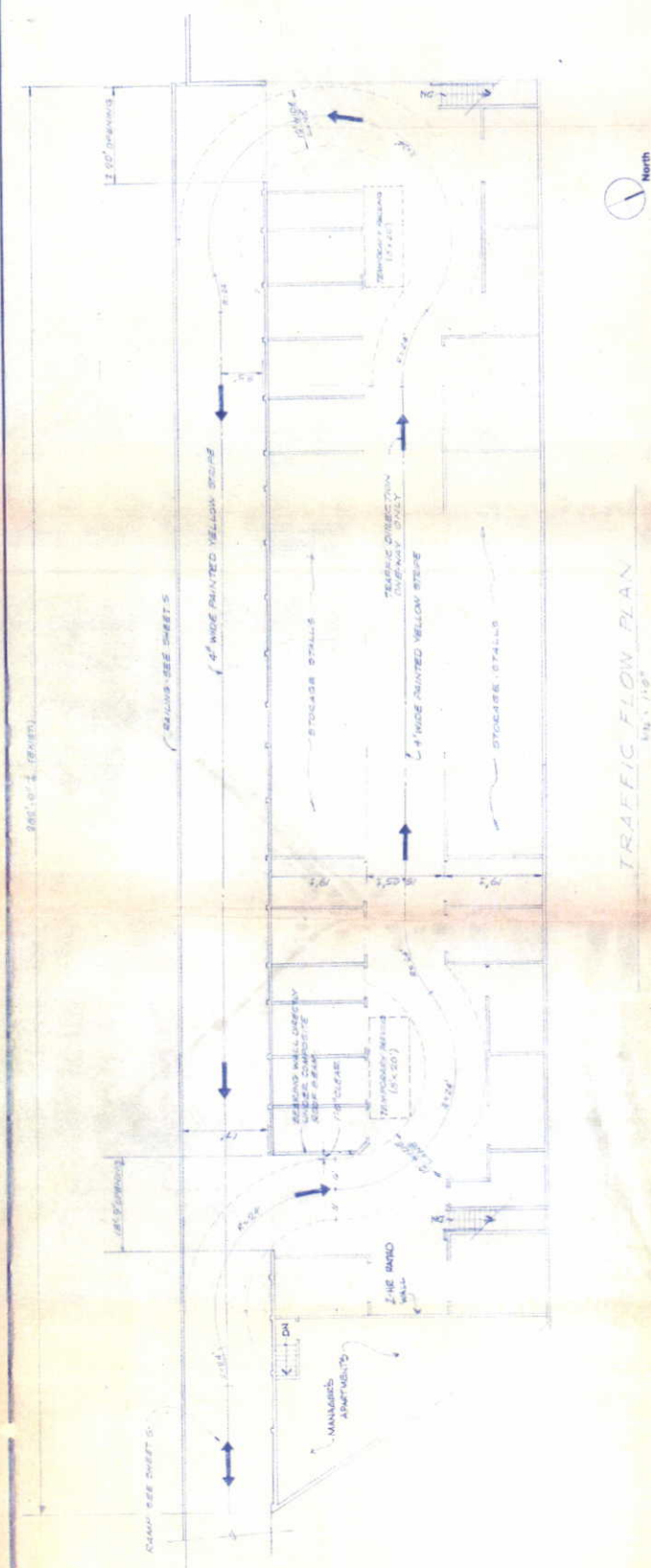
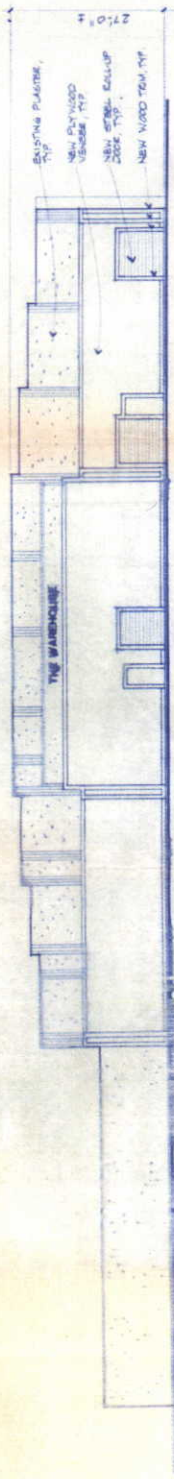
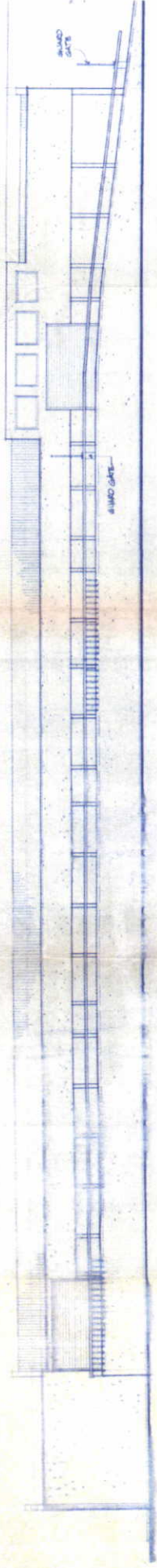


EXHIBIT "C" - SECOND FLOOR

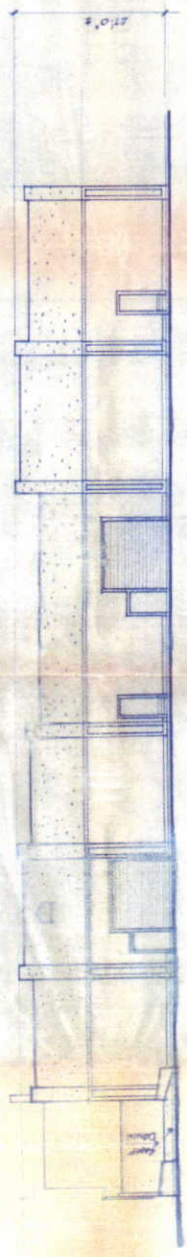
Exhibit



NORTH MAIN



MARKET STREET



BRIDGE STREET

David J. Elliott
& Associates, AIA

Planning
Architecture
Interior

718 West Alameda Street
Salinas, California 94761
Tel. (408) 833-1861

Exhibit D

WAREHOUSE RENOVATION FOR C & H INVESTMENT
Salinas, California

0 5 10 3 FT

EXHIBIT "E" - Elevations

A 3

8527
MAY 30, 1985