

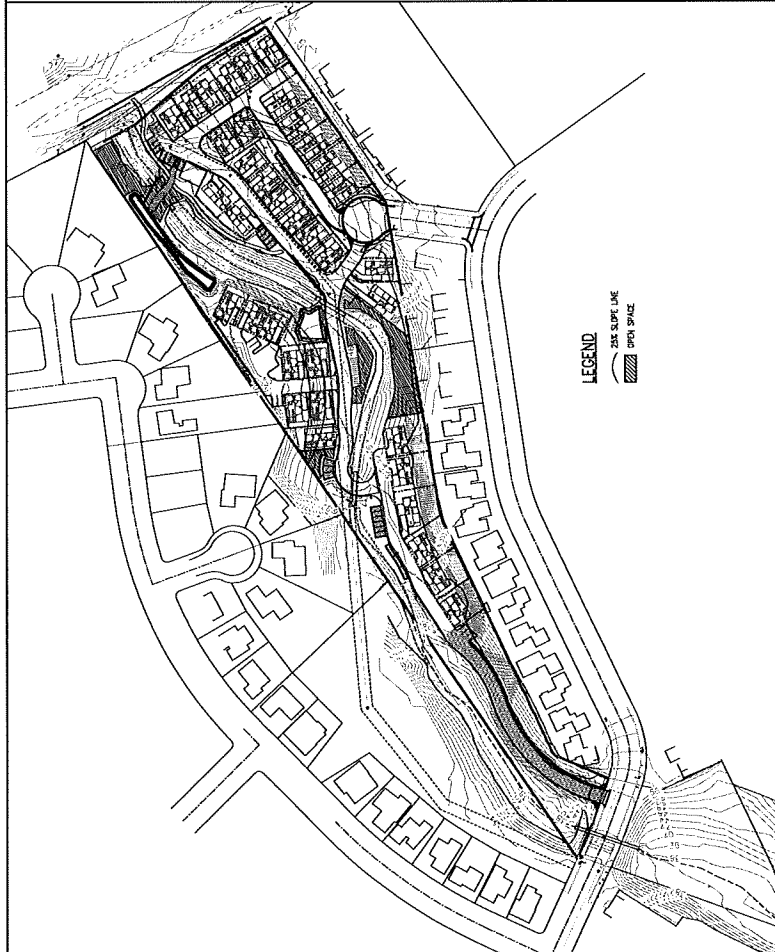
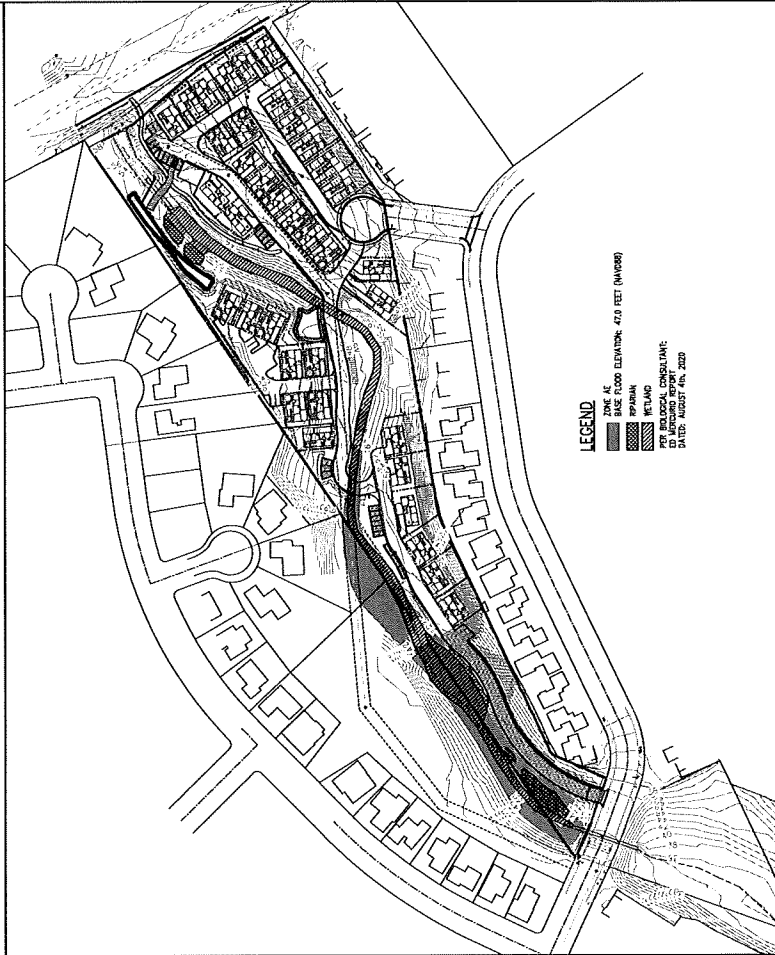
North

Vicinity Map



**PLANNED UNIT DEVELOPMENT
PERMIT 2019-001 &
TENTATIVE MAP 2019-002
11 Hill Circle**

Exhibit A



**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

CITY OF SALINAS
MARCH 2021

Open Space & Biological Areas

Parcel A per Volume 27 of Parcel Maps Page 52

H Circle - apn 04-604-066

PROJECT 3	JOB NO. 20018 DATE 07-10
MONTREY COUNTY CALIFORNIA	

REFERENCES

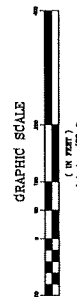


Name _____ DO
 Address _____
 City _____
 State _____ Zip _____
 R.C.E. # 63276
 exp. 6/30/

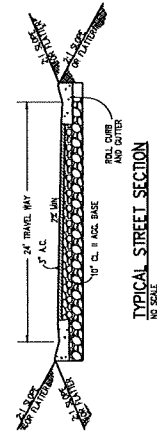
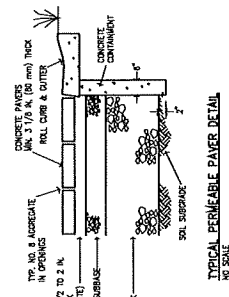
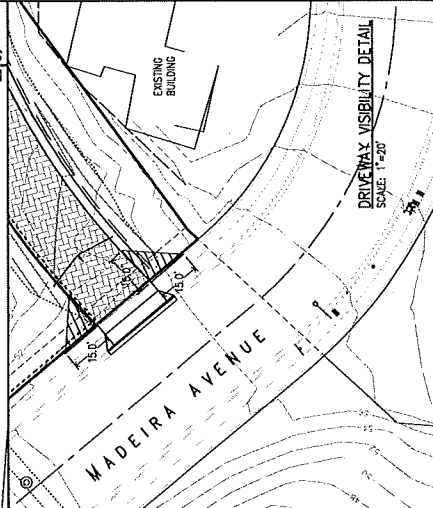
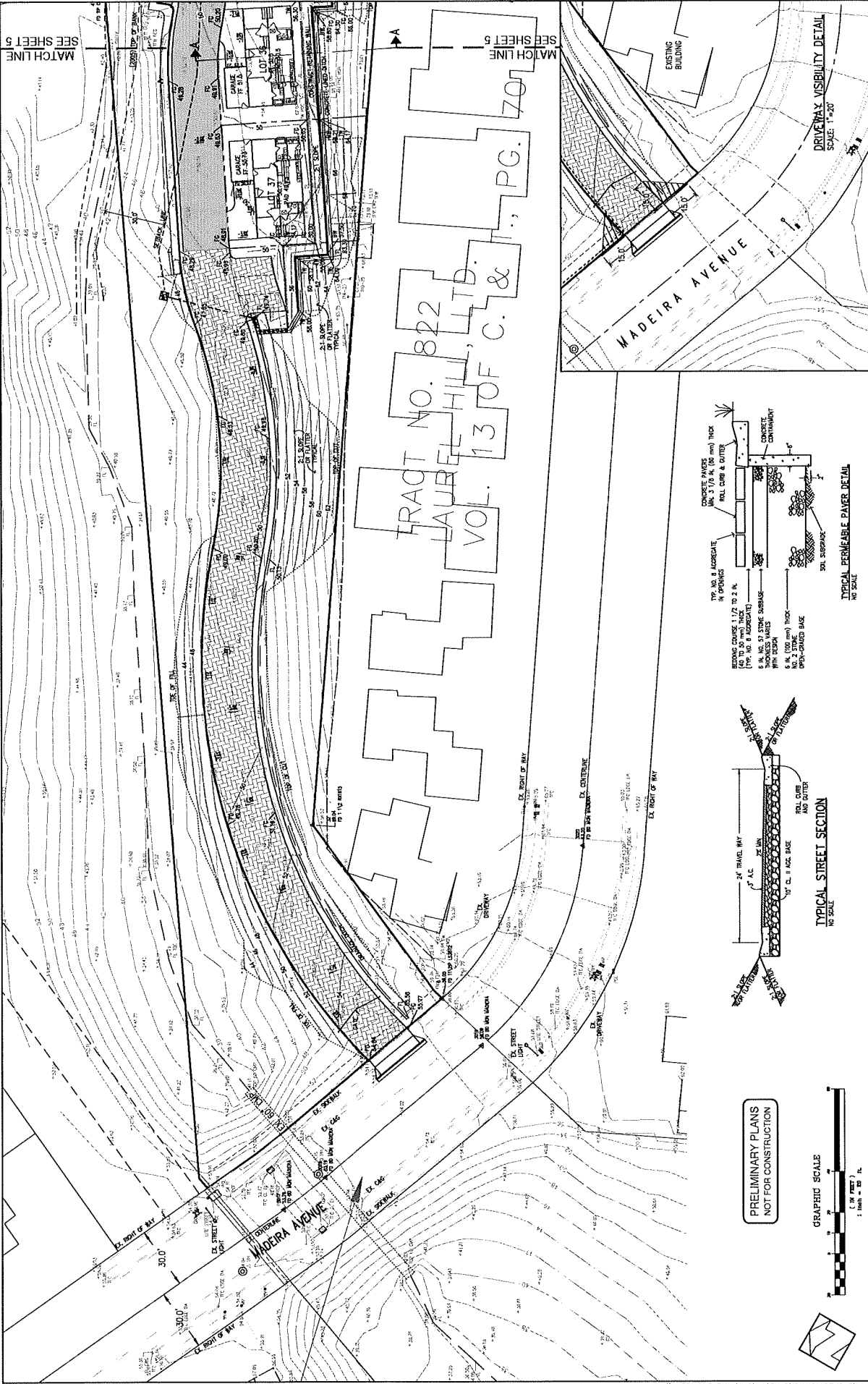
DATE: MARCH 2021
HORIZ. SCALE: 1:100
VERT. SCALE: N/A
DESIGNED BY: AM
CHECKED BY:
DRAWN BY: TM

HANNA-BRUNETTI
EST. 1970
CIVIL ENGINEERING • LAND SURVEYING
CONSTRUCTION MANAGEMENT
7031 PULVERHOFF STREET • CHICAGO, ILL. 60642
CHICAGO, ILL. 60642 • FAX (773) 462-2622
EVAL. ENGINEERING @ HANNA-BRUNETTI.COM

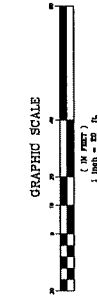
REVISIONS:		BY:
DATE	DESCRIPTION	



THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE EXACT SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR PART, IS PROHIBITED. TO THE PLANS AND SPECIFICATIONS REMAINS IN THE ENTIRETY WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

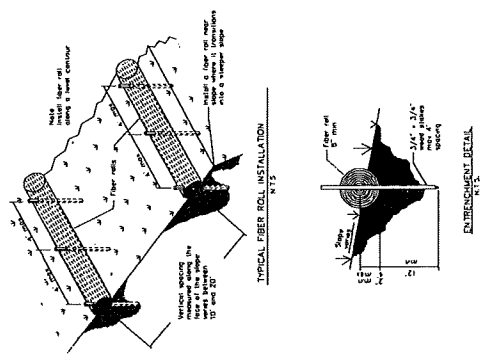


Grading and Drainage Plan Hill Circle - apr 04-601-066 CITY OF SALINAS MARCH 2021		SHEET 4 OF 10 20018 MONTEREY COUNTY JOB NO.						
REFERENCES								
DATE: MARCH 2021 HORIZ. SCALE: 1"=40' VERT. SCALE: 1"=4' DESIGNED BY: AM CHECKED BY: TM DRAWN BY: TM	HANNA G. BENINETTI CIVIL ENGINEER 1000 N. GARDEN STREET, SUITE 100 SALINAS, CA 94760 TEL: (831) 435-1234 FAX: (831) 435-1235 hanna@hannagbeninetti.com	REVISIONS: <table border="1"> <tr> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	DATE	DESCRIPTION	BY			
DATE	DESCRIPTION	BY						

THIS SET OF PLANS AND SPECIFICATIONS IS THE PROPERTY OF THE ENGINEER. IT IS TO BE USED FOR THE PROJECT AND NOT FOR CONSTRUCTION. NO PART OF THESE PLANS OR SPECIFICATIONS SHALL BE REPRODUCED OR PUBLISHED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. ANY VIOLATION OF THESE RESTRICTIONS WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

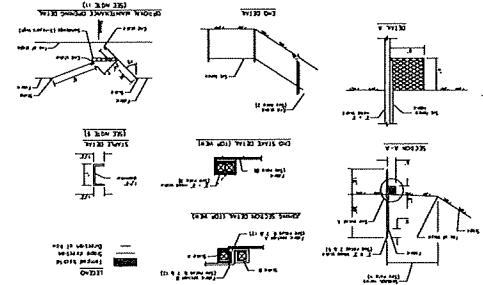
Exhibit

SE-5 Fiber Rolls



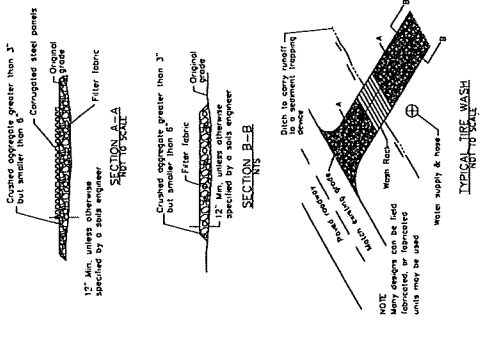
SE-1

Silt Fence

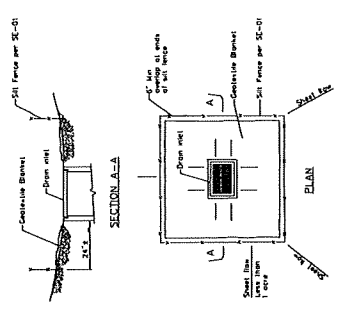


Stabilized Construction Entrance/Exit

TC-3 Entrance/Outlet Tire Wash



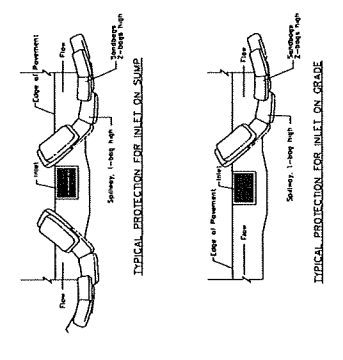
SE-10 Storm Drain Inlet Protection



NOTES:
1. All areas where grading has been completed and final stabilization has been achieved.
2. Slope shall be 1:1 or flatter.
3. No vegetation shall be planted on the slope.

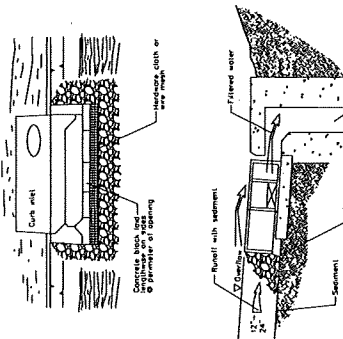
SE-10

Storm Drain Inlet Protection



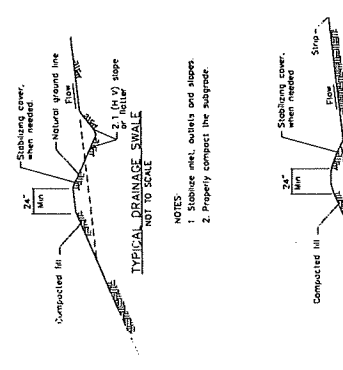
NOTES:
1. All areas where grading has been completed and final stabilization has been achieved.
2. Slope shall be 1:1 or flatter.
3. No vegetation shall be planted on the slope.

SE-10 Storm Drain Inlet Protection



NOTES:
1. All areas where grading has been completed and final stabilization has been achieved.
2. Slope shall be 1:1 or flatter.
3. No vegetation shall be planted on the slope.

EC-9 Earth Dikes and Drainage Swales



NOTES:
1. All areas where grading has been completed and final stabilization has been achieved.
2. Slope shall be 1:1 or flatter.
3. No vegetation shall be planted on the slope.

DATE	REVISIONS	DESCRIPTION	BY

HANNA-BERNARDI
ENGINEERING & ARCHITECTS
1000 S. GATEWAY AVENUE
SAN ANTONIO, TEXAS 78204
TEL: 214/521-1111
FAX: 214/521-1112

DATE: MARCH 2021
HORIZ. SCALE: NONE
VERT. SCALE: NONE
DESIGNED BY: JAM
CHECKED BY: JAM
DRAWN BY: JAM

REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
No. 10000
Exp. 12/31/2021
JAMES A. MURPHY
JAMES A. MURPHY
JAMES A. MURPHY

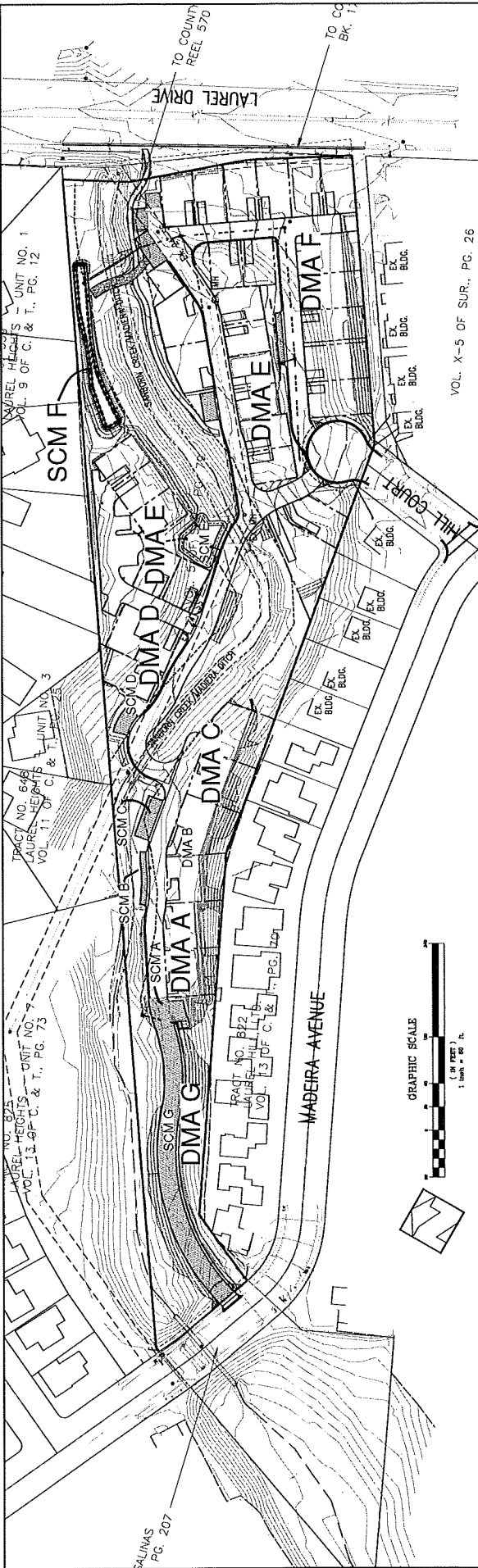
REFERENCES

CITY OF SALINAS
Hill Circle - apr 04-601-066
MARCH 2021

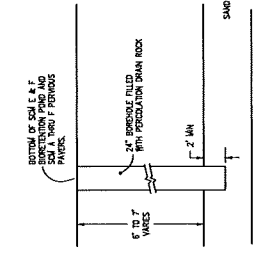
Erosion Control Details

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

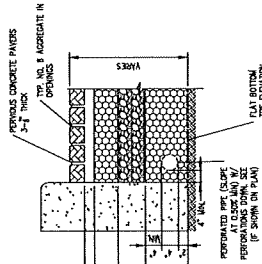
SHEET 9 OF 10
JES NO. 20018
MONTEREY COUNTY CALIFORNIA



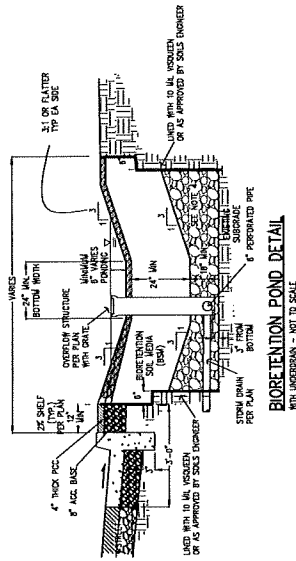
VOL. X-5 OF SUR., PG. 28



DRY WELL
 24" BOREHOLE FILLED WITH PERFORATION DRAIN ROCK
 6" THICK CONCRETE PAVERS
 1' MIN. ABOVE SAND STRATA



PERVIOUS PAVER DETAIL
 NOT TO SCALE



BIORETENTION POND DETAIL
 NOT TO SCALE

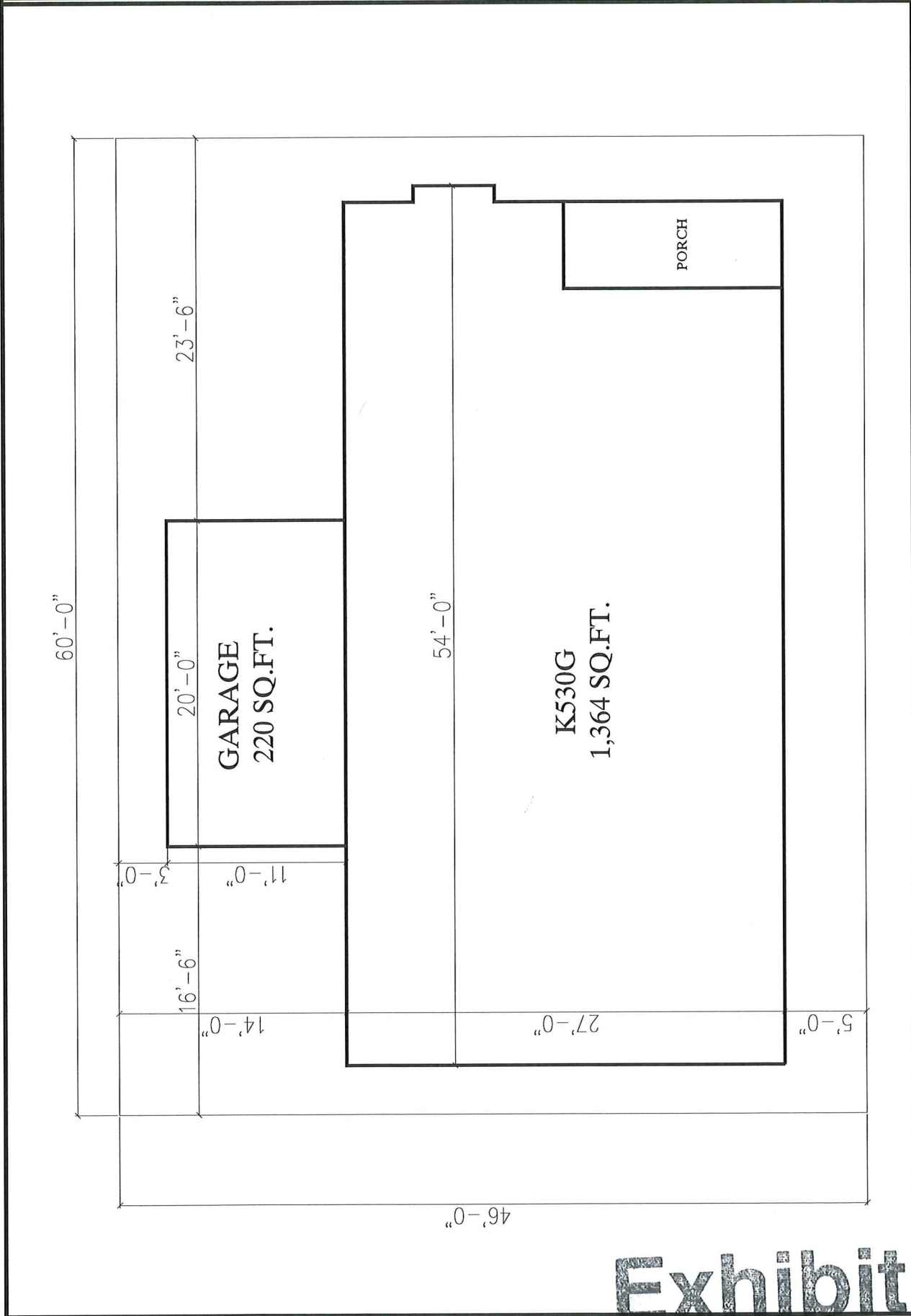
PRELIMINARY PLANS
 NOT FOR CONSTRUCTION

Storm Water Control Plan Hill Circle - apr 04-801-086 CITY OF SALINAS MARCH 2021		SHEET 10 OF 10	JOB NO. 20018 MONTEREY COUNTY CALIFORNIA
DATE: MARCH 2021 VERTICAL SCALE: 1"=4'0" HORIZONTAL SCALE: 1"=40' DESIGNED BY: J.M. CHECKED BY: J.M. DRAWN BY: J.M.	REVISIONS: NO. DESCRIPTION BY: DATE	HANNA-BRUNETTI CIVIL ENGINEER 1000 MONTEREY AVENUE SALINAS, CA 94760 (831) 435-1111 HANNA-BRUNETTI & ASSOCIATES CIVIL ENGINEERS & ARCHITECTS	PROJECT NO. 04-801-086 PROJECT NAME: HILL CIRCLE PROJECT LOCATION: HILL CIRCLE, SALINAS, CA PROJECT OWNER: CITY OF SALINAS PROJECT ENGINEER: J. M. HANNA-BRUNETTI

THIS PLAN AND SPECIFICATIONS SHALL BE USED IN THE ENGINEERING OF THE PROJECT. ANY CHANGES TO THIS PLAN SHALL BE MADE BY THE ENGINEER. ANY CHANGES TO THIS PLAN SHALL BE MADE BY THE ENGINEER. ANY CHANGES TO THIS PLAN SHALL BE MADE BY THE ENGINEER.

Exhibit K

USMODULAR, INC. 140 E. STEVEN AVE. #301, HEMET, CA 92543 951-679-9907 888-987-6638 Fax: 951-672-0926 info@usmodularinc.com	BUILDERS/DEVELOPERS K530-G PHONE: --- --- --- ---	REV. BY DATE 01 SDD 09/29/20 02 SDD 10/09/20 03 SDD 11/25/20	PROPOSED PROJECT RANCH 1,364 SQ.FT.	SITE PLAN SHEET	DATE 09/26/20	SCALE 3/16" = 1'-0"	SHEET 1 OF 5 SHEETS





BUILDERS/DEVELOPERS
140 E. STEVEN AVE. #301,
HEMET, CA 92543
951-679-9907
888-987-6638
fax: 951-672-0926
info@usmodularinc.com

K530-G
PHONE

REV.	BY	DATE
01	SOD	09/29/20
02	SOD	10/09/20
03	SOD	11/25/20

PROPOSED PROJECT
RANCH
1,364 SQ.FT.

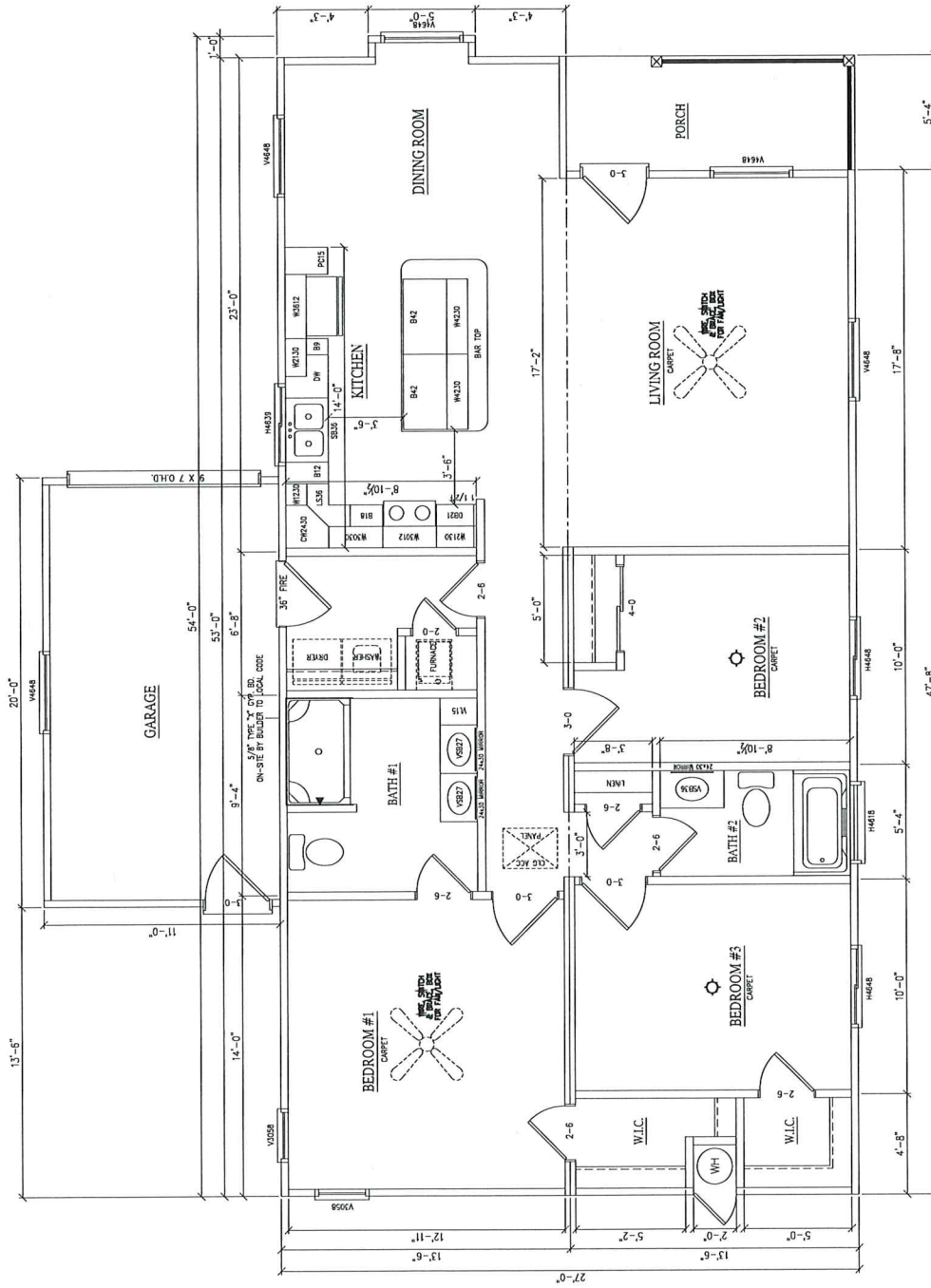
1ST FLOOR
PLAN
SHEET

DATE
09/26/20

SCALE
3/16"=1'-0"

SHEET
2

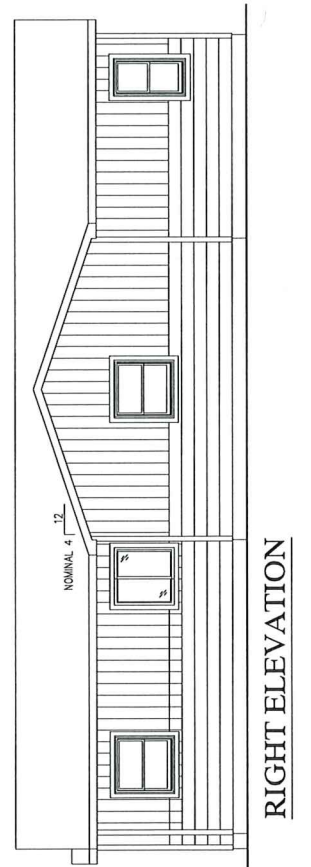
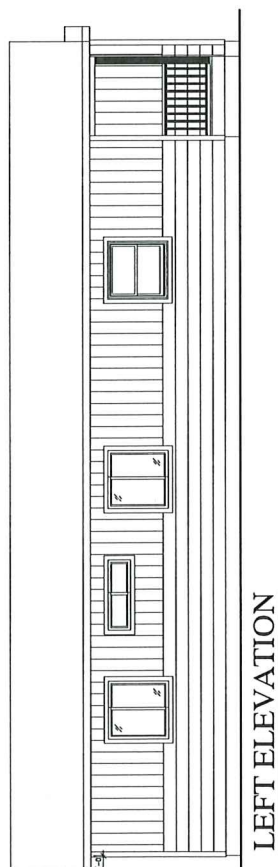
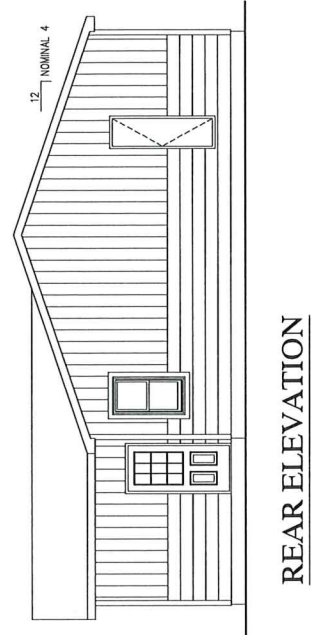
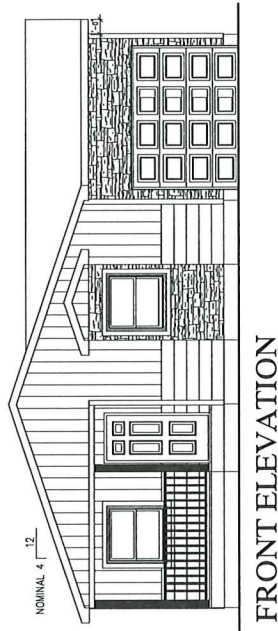
OF 5 SHEETS



LIVING AREA: 1,364 SQ. FT.
PORCH: 72 SQ. FT.
GARAGE: 220 SQ. FT.

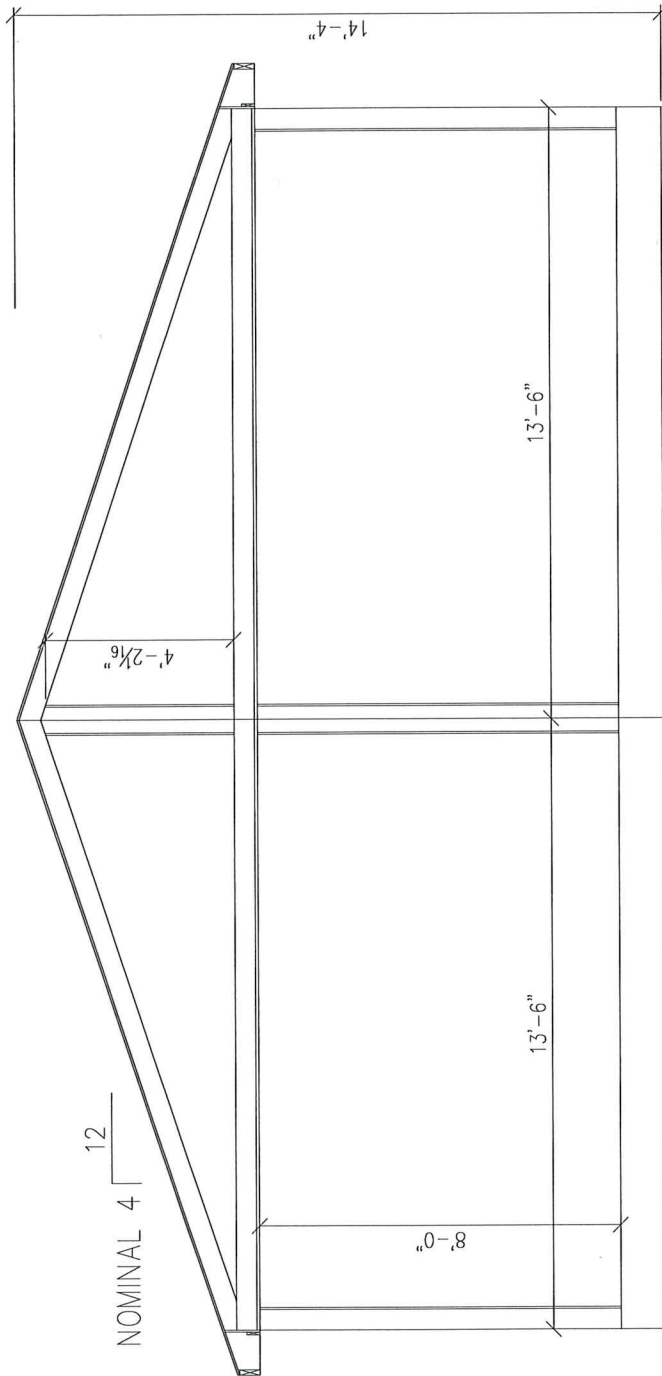
Exhibit

Exhibit N



ALL ELEVATIONS SHEET		DATE 09/26/20		SCALE 1/8"=1'-0"		SHEET 3 OF 5 SHEETS	
PROPOSED PROJECT		RANCH 1,364 SQ.FT.		BUILDERS/DEVELOPERS 140 E. STEVEN AVE. #301, HEMET, CA 92543		PHONE	
REV. BY DATE		01 SBD 09/29/20		02 SBD 10/09/20		03 SBD 11/25/20	
USMODULAR INC.		951-679-9907		888-987-6638		fax: 951-672-0926	
info@usmodularinc.com		140 E. STEVEN AVE. #301, HEMET, CA 92543		BUILDERS/DEVELOPERS		K530-G	

BUILDING SECTION



PROPOSED PROJECT		RANCH 1,364 SQ.FT.	
REV.	BY	DATE	
01	SDB	09/29/20	
02	SDB	10/09/20	
03	SDB	11/29/20	
K530-G			
BUILDERS/DEVELOPERS 140 E. STETSON AVE. #301, HEMET, CA 92543 951-679-9907 888-987-6638 Fax: 951-672-0926 info@usmodularinc.com			
USMODULAR, INC. A DIVISION OF USMODULAR GROUP, INC.			
SECTION PLAN SHEET			
DATE 09/26/20			
SCALE 3/8"=1'-0"			
SHEET 4			
OF 5 SHEETS			

[illegible]

MARK	QTY	OPERATION		NOMINAL SIZE		TYPE	UF	SHOC	REMARKS
		L-SWING	R-SWING	WIDTH	HEIGHT				
3068	2	1	1	3'-0"	6'-8"	SINGLE SWING - FRONT/REAR	TBD	TBD	-
2068	1	1	-	2'-6"	6'-8"	W/H - PANEL	-	-	-
9070	1	1	-	9'-0"	7'-0"	GARAGE - EXTERIOR	TBD	TBD	-
3068	1	1	-	3'-0"	6'-8"	GARAGE - FREEDOOR	-	-	-
3068	3	2	1	3'-0"	6'-5"	STANDARD - INTERIOR	-	-	-
2668	5	3	2	2'-6"	6'-5"	STANDARD - INTERIOR	-	-	-
2068	1	1	-	2'-0"	6'-8"	STANDARD - INTERIOR	-	-	-
4068	2	2	-	4'-0"	6'-8"	B-PASS - INTERIOR	-	-	-
									DOOR JAMB SIZES (1/2" OP. BD.) DOOR JAMB SIZES (1/2" OP. BD.) 2-6-246 MARRIAGE WALL: 4 9/16" 2-6-246 MARRIAGE WALL: 8 5/16" 2-6-246 MARRIAGE WALL: 13 9/16" 2-6-246 MARRIAGE WALL: 13 13/16"

TYPE	DESCRIPTION	LOWER	MAIN
1-1	TOILET PAPER HOLDER	-	2
1-2	STACKED TOWEL BAR (BOTTOM)	-	-
1-3	SINGLE TOWEL BAR	-	2
1-4	TOILET TUB RING	-	-
1-5	STACKED TOWEL BAR (TOP)	-	-
1-6	TOWEL BAR ABOVE TUB OR TOILET	-	-
1-7	TOWEL RING	2	2
1-8	TOWEL HOOK	-	2

NOTE: PROVIDE BLOCKING IN WALL FOR BATHROOM ACCESSORIES

5'-0" (1-8)
5'-0" U.N.O.
5'-0" (1-7)
5'-4" (1-6)
4'-6" (1-5)
2'-10" (1-2)
2'-0" (1-4)
2'-10" (1-5)
4'-6" (1-3)
5'-0" (1-7)
5'-0" (1-8)

NOTE: PROVIDE BLOCKING IN WALL FOR BATHROOM ACCESSORIES

FINISHED FLOOR

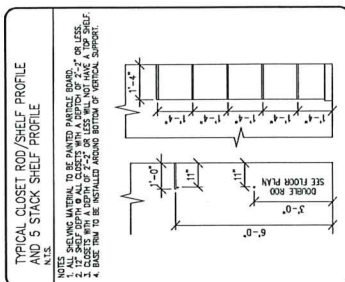


Exhibit P

SCHEDULES/
STANDARDS
SHEET

DATE 09/26/20	SCALE N.T.S.	SHEET 5 OF 5 SHEETS
------------------	-----------------	---------------------------

BUILDERS/DEVELOPERS
140 E. STEVEN AVE. #301,
HEMET, CA 92543
951-679-9907
888-987-6638
Fax: 951-672-0926
info@usmodularinc.com

K530-G
PHONE

REV.	BY	DATE
01	SDD	09/29/20
02	SDD	10/09/20
03	SDD	11/25/20



BUILDERS/DEVELOPERS
140 E. STESON AVE. #301,
HEMET, CA 92543
951-679-9907
888-987-6638
Fax: 951-672-0926
info@usmodularinc.com

K600-CT
PHONE

REV.	BY	DATE
01	SDD	09/29/20
02	SDD	10/09/20
03	SDD	11/25/20

PROPOSED PROJECT
RANCH
1,128 SQ.FT.

SITE
PLAN
SHEET

DATE
09/26/20

SCALE
3/16"=1'-0"

SHEET
1
OF 5 SHEETS

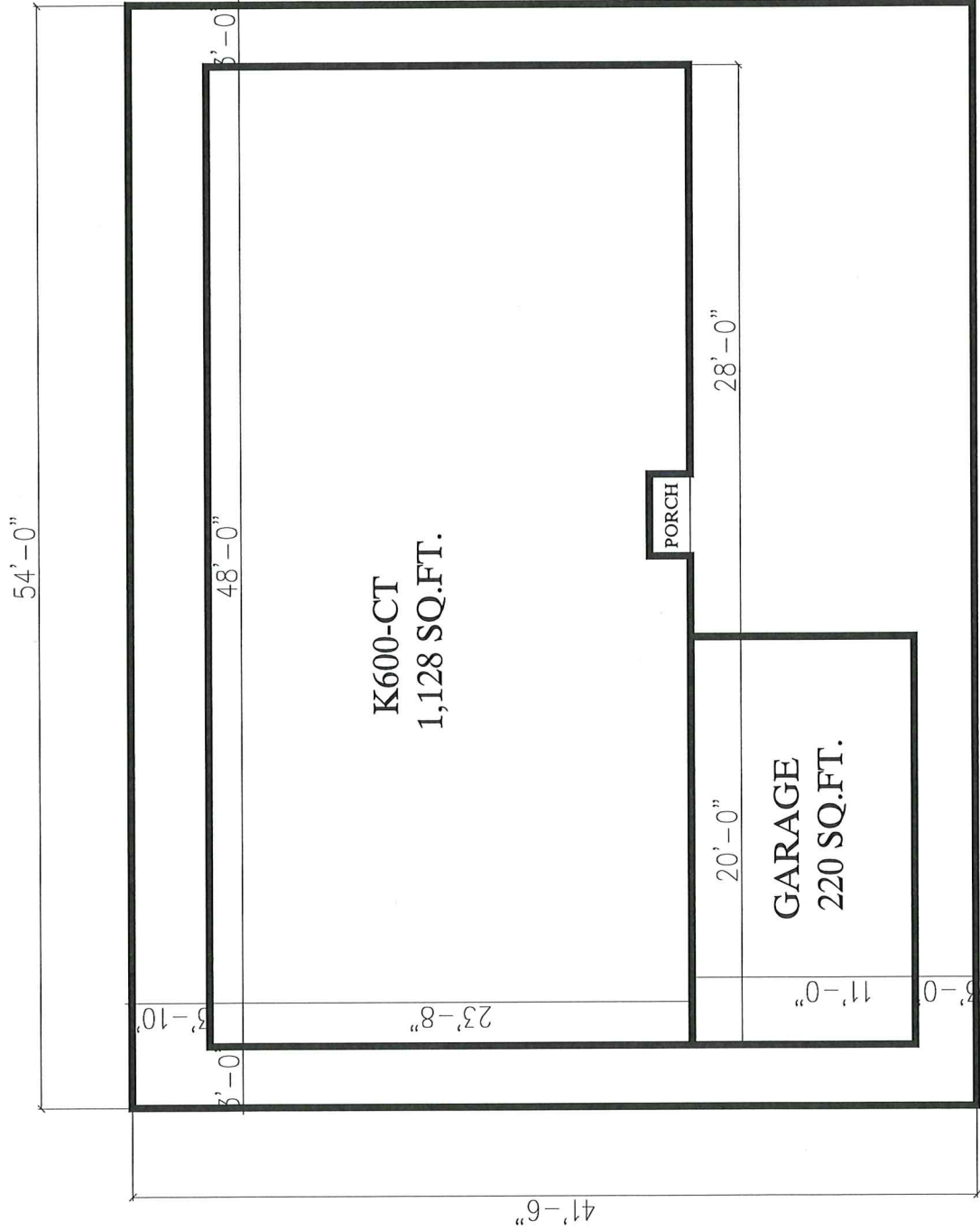


Exhibit Q



BUILDERS/DEVELOPERS
 140 E. STEVEN AVE. #301,
 HEWLET, CA 92543
 951-679-9907
 888-987-6638
 fax: 951-672-0926
 info@usmodularinc.com

K600-CT

PHONE

REV.	BY	DATE
01	SOD	09/29/20
02	SOD	10/09/20
03	SOD	11/25/20

PROPOSED PROJECT

RANCH

1,128 SQ. FT.

1ST FLOOR PLAN SHEET

DATE

09/26/20

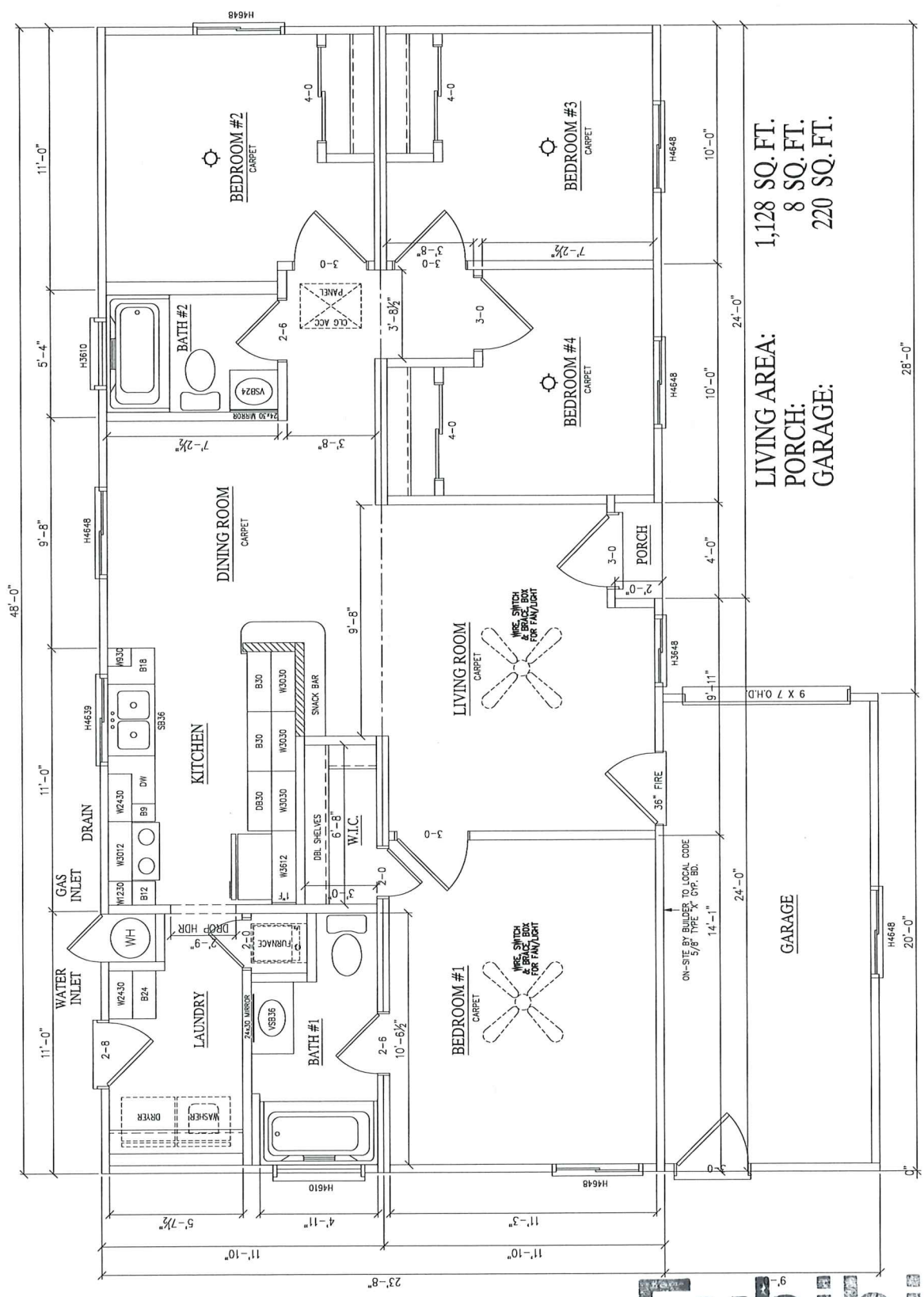
SCALE

1/4" = 1'-0"

SHEET

2

OF 5 SHEETS



LIVING AREA: 1,128 SQ. FT.
 PORCH: 8 SQ. FT.
 GARAGE: 220 SQ. FT.

REV.	BY	DATE
		09/29/20
		10/09/20
		11/25/20

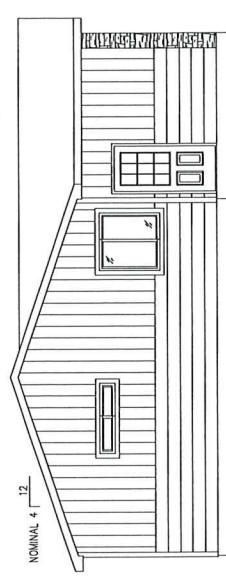
PROPOSED PROJECT

ALL
ELEVATIONS
SHEET

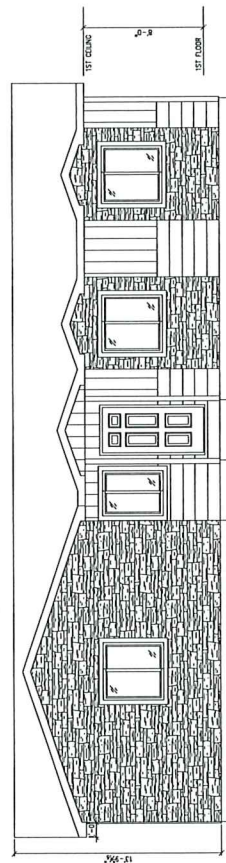
DATE 09/26/20

SCALE
1/8"=1'-0"

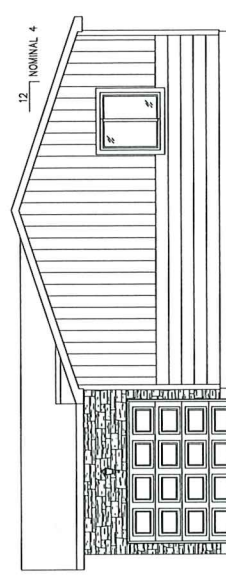
SHEET
3
OF 5 SHEETS



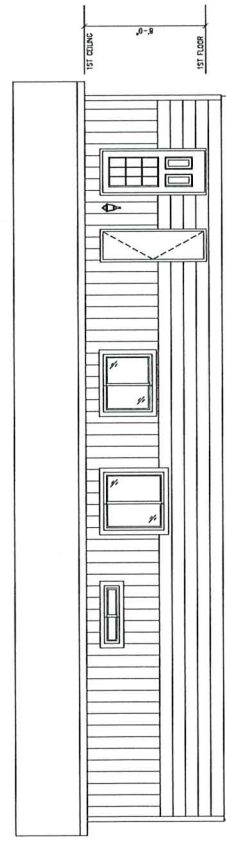
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



BUILDERS/DEVELOPERS
 140 E. STESON AVE. #301,
 HEWLET, CA 92543
 951-679-9907
 888-987-6638
 Fax: 951-672-0926
 info@usmodularinc.com

PHONE

K600-CT

REV.	BY	DATE
01	SDD	09/29/20
02	SDD	10/09/20
03	SDD	11/25/20

PROPOSED PROJECT

RANCH

1,128 SQ.FT.

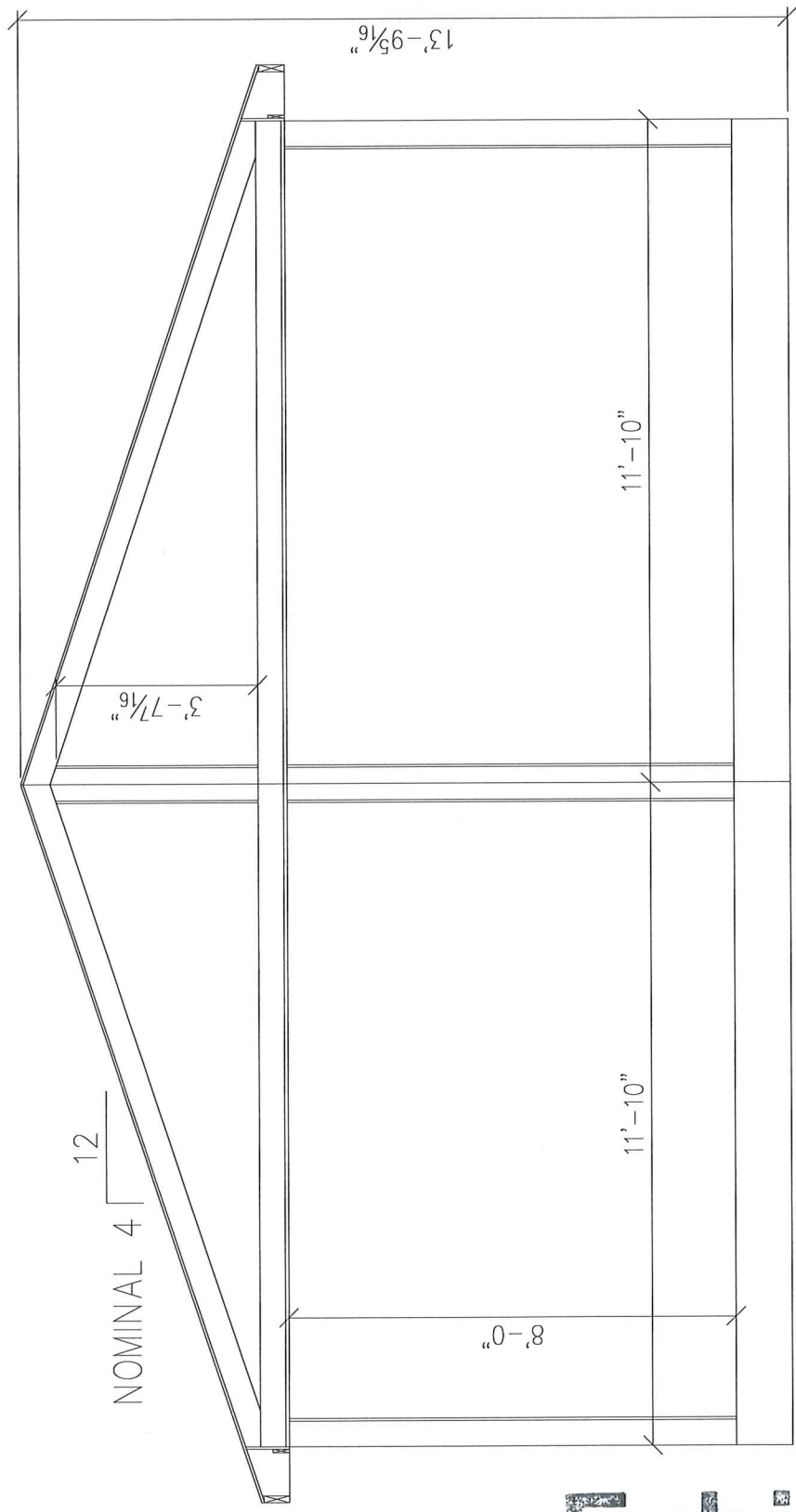
SECTION
PLAN
SHEET

DATE
09/26/20

SCALE
1/2"=1'-0"

SHEET
4

OF 5 SHEETS



BUILDING SECTION

Exhibit T

[illegible][illegible]

TYPE	DESCRIPTION	LOWER	MAIN
1-1	TOILET PAPER HOLDER	1	2
1-2	STACKED TOWEL BAR (BOTTOM)	-	-
1-3	SINGLE TOWEL BAR	1	2
1-4	STACKED TOWEL BAR (TOP)	-	-
1-5	STACKED TOWEL BAR	1	2
1-6	TOWEL BAR ABOVE CUB OR TOILET	-	-
1-7	TOWEL RING	1	2
1-8	TOWEL HOOK	1	2

NOTE: PROVIDE BLOCKING IN WALL FOR BATHROOM ACCESSORIES

(8-1)
5'-0" U.N.O.

(7-1)
5'-0"

(6-1)
5'-4"

(5-1)
4'-6"

(4-1)
2'-10"

(3-1)
2'-0"

FINISHED FLOOR

Exhibit U

SHEET
5
OF 5 SHEETS

K600-CT
PHONE

REV:	01	DATE
01	SDD	09/29/20
02	SDD	10/09/20
03	SDD	11/25/20



BUILDERS/DEVELOPERS
140 E. STESON AVE. #301,
HEMET, CA 92543
951-679-9907
888-987-6638
Fax: 951-672-0926
info@usmodularinc.com

K605-CT
PHONE

REV.	BY	DATE
01	SD	09/29/20
02	SD	10/09/20
03	SD	11/25/20

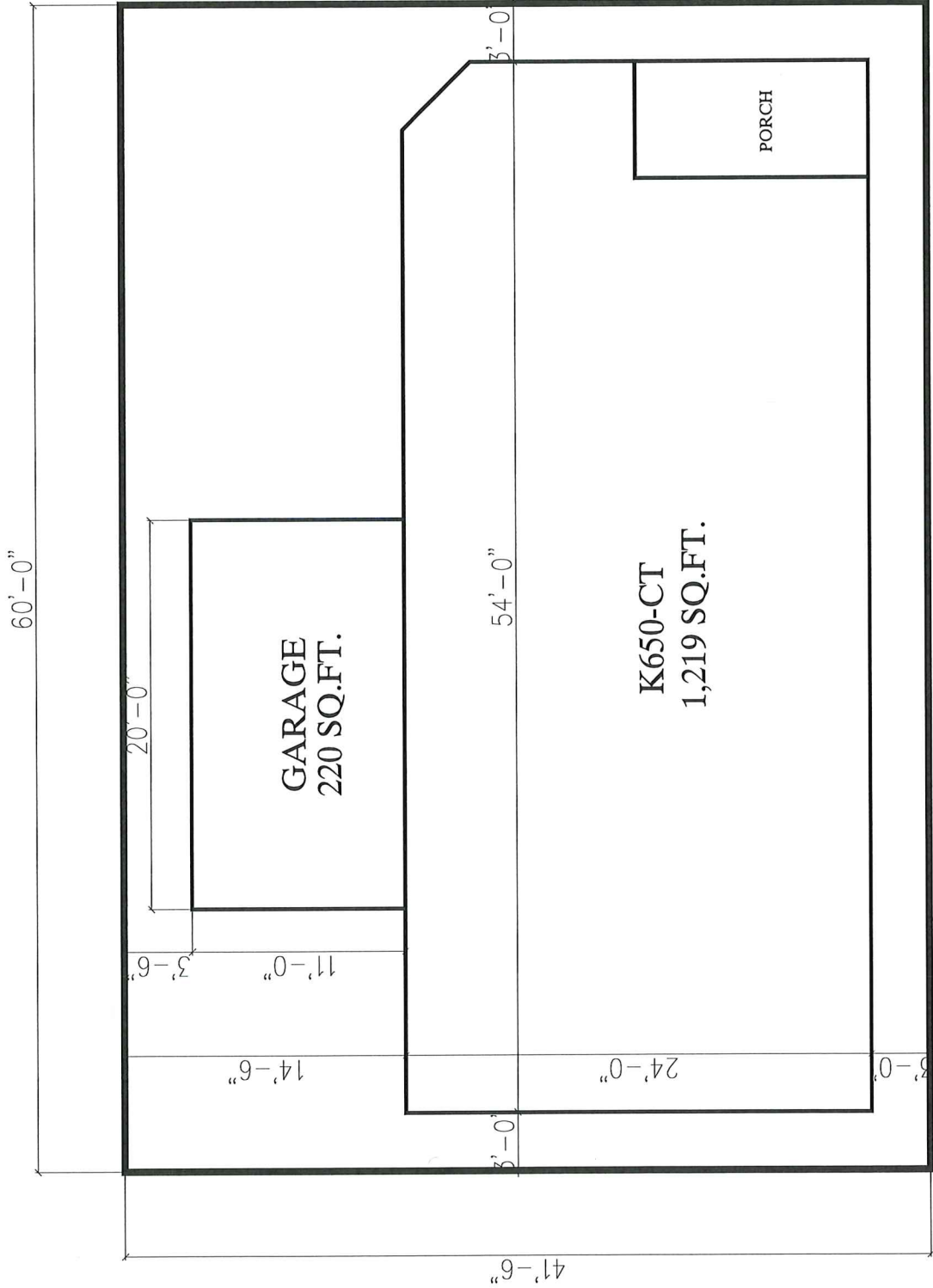
PROPOSED PROJECT
RANCH
1,219 SQ.FT.

SITE
PLAN
SHEET

DATE
09/26/20

SCALE
3/16"=1'-0"

SHEET
1
OF 5 SHEETS



Exhibit





BUILDERS/DEVELOPERS
140 E. STESON AVE. #301,
HEMET, CA 92543
951-679-9907
988-987-6638
info@usmodularinc.com

PHONE

K605-CT

REV.	BY	DATE
01	SD	09/29/20
02	SD	10/09/20
03	SD	11/25/20

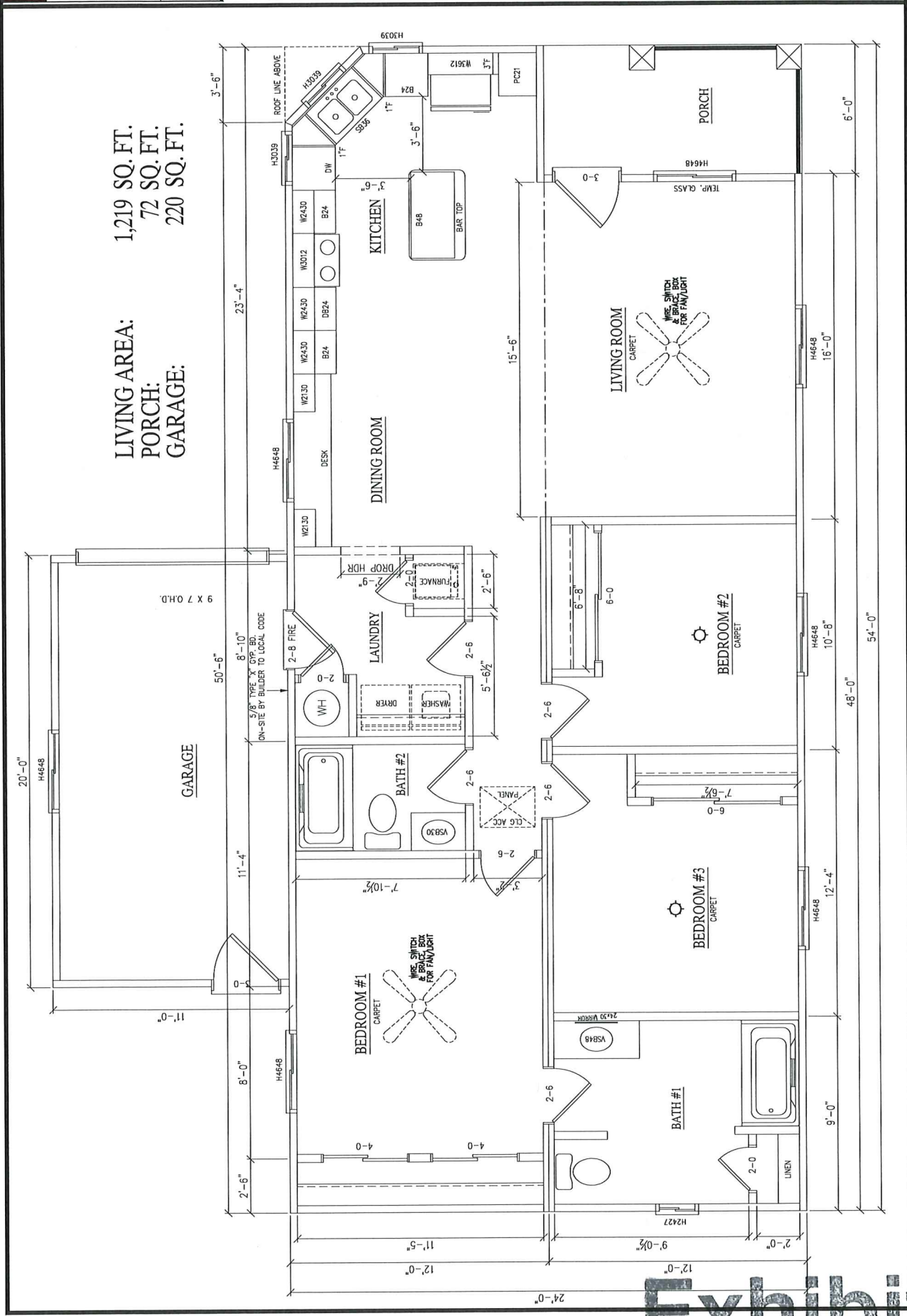
PROPOSED PROJECT
RANCH
1,219 SQ. FT.

1ST FLOOR
PLAN
SHEET

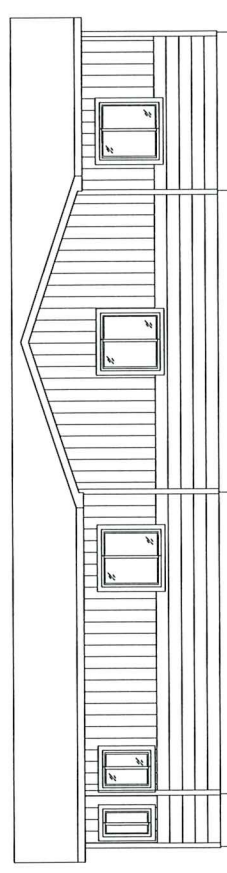
DATE
09/26/20

SCALE
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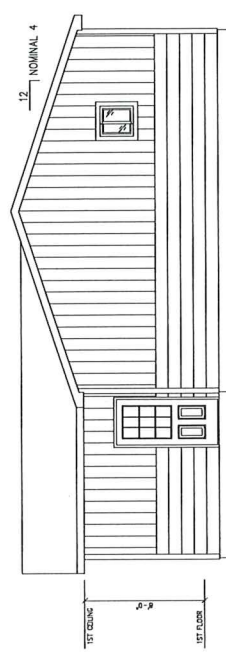
SHEET
2
OF 5 SHEETS



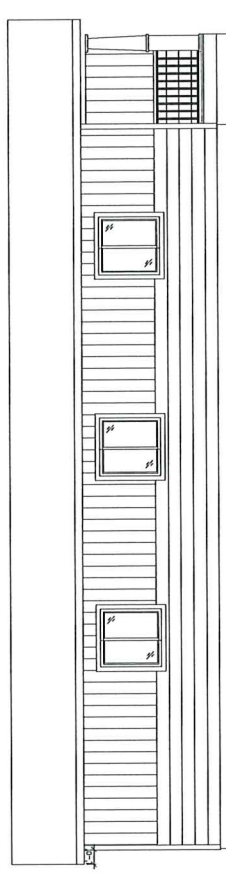
RIGHT ELEVATION



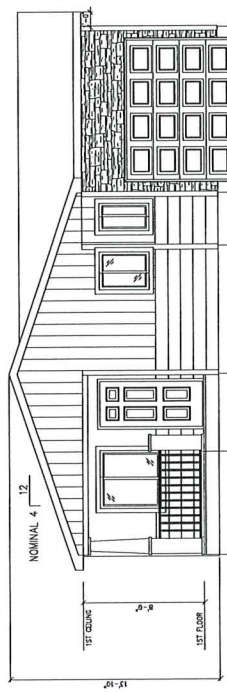
REAR ELEVATION



LEFT ELEVATION



FRONT ELEVATION



OF 5 SHEETS

SHEET

1/8"=1'-0"

SCALE

09/26/20

DATE

ELEVATIONS

SHEET

PROPOSED PROJECT
RANCH
1,219 SQ.FT.

REV.	BY	DATE
01	SDD	09/29/20
02	SDD	10/09/20
03	SDD	11/25/20

K605-C1
PHONE

BUILDERS/DEVELOPERS
140 E. STEVEN AVE. #301,
HEMET, CA 92343
951-679-9907
888-987-6638
info@usmodularinc.com





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HEMET, CA 92343
951-679-9907
888-987-6638
Fax: 951-672-0926
info@usmodularinc.com

K605-CT
PHONE

REV.	BY	DATE
01	SDD	09/29/20
02	SDD	10/09/20
03	SDD	11/25/20

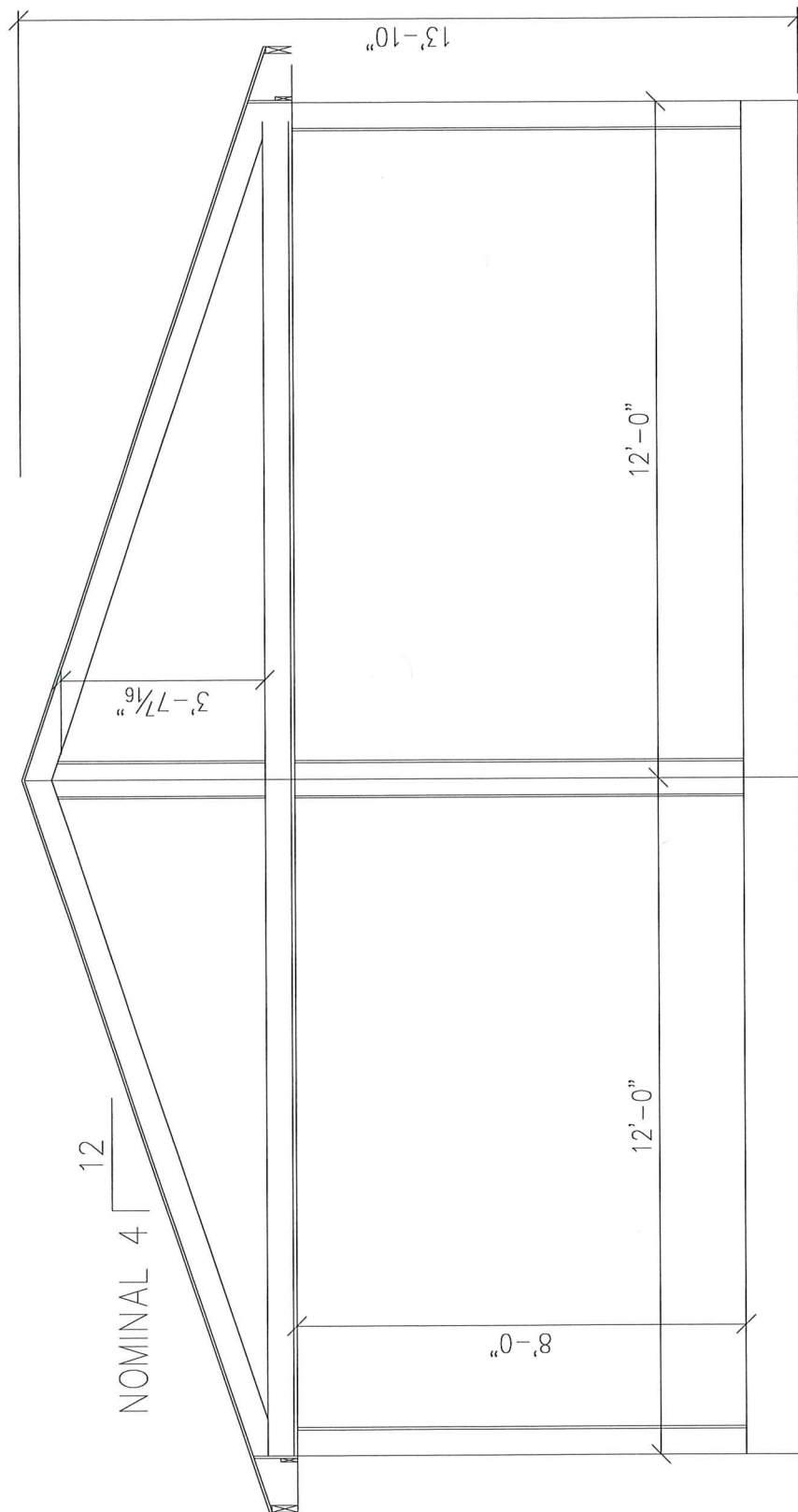
PROPOSED PROJECT
RANCH
1,219 SQ.FT.

SECTION
PLAN
SHEET

DATE
09/26/20

SCALE
1/2"=1'-0"

SHEET
4
OF 5 SHEETS



BUILDING SECTION

Exhibit Y

[illegible][illegible]

TYPE	DESCRIPTION	LOWER	MAIN
1-1	TOILET PAPER HOLDER	1	2
1-2	TOILET PAPER RACK (BOTTOM)	1	2
1-3	SHAVE TOWEL BAR	1	2
1-4	DOUBLE TOWEL BAR	1	1
1-5	STACKED TOWEL BAR (TOP)	1	1
1-6	TOWEL BAR ABOVE TUB OR TOILET	1	1
1-7	TOWEL BAR	1	2
1-8	TOWEL HOOK	1	2

TYPE	DESCRIPTION	LOWER	MAIN
1-1	TOILET PAPER HOLDER	1	2
1-2	STACKED TOWEL BAR (BOTTOM)	—	—
1-3	SINGLE TOWEL BAR	1	2
1-4	DOUBLE TOWEL BAR	—	1
1-5	STACKED TOWEL BAR (TOP)	—	—
1-6	TOWEL BAR ABOVE TUB OR TOILET	—	—
1-7	TOWEL RING	1	2
1-8	TOWEL HOOK	—	2

NOTE: PROVIDE BLOCKING
ON WALL FOR BATHROOM

 USMODULAR, INC. BUILDERS/DEVELOPERS 140 E. STEVEN AVE. #301, HEWLET, CA 92543 951-679-9907 888-987-6638 Fax: 951-672-0926 info@usmodularinc.com	K605-CT PHONE --- --- ---	<table><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td>03</td><td>500</td><td>11/25/20</td></tr><tr><td>02</td><td>500</td><td>10/09/20</td></tr><tr><td>01</td><td>500</td><td>09/29/20</td></tr><tr><td>REV</td><td>BY</td><td>DATE</td></tr></table>							03	500	11/25/20	02	500	10/09/20	01	500	09/29/20	REV	BY	DATE	PROPOSED PROJECT RANCH 1.219 SQ.FT. ---	SCHEDULES/ STANDARDS SHEET	DATE 09/26/20	SCALE N.T.S.	SHEET 5 OF 5 SHEETS
03	500	11/25/20																							
02	500	10/09/20																							
01	500	09/29/20																							
REV	BY	DATE																							

Affordable Housing & Marketing Plan

11 Hill Circle

September 10, 2020

U4Ric Investments LLC

Bill Coffey, Developer

11 Hill Circle, Salinas, CA 93901

Exhibit A-1

Affordable Housing Plan

The Project on 11 Hill Circle is planned for thirty-seven (37) detached single-family manufactured homes. A typical home is a three-bedroom, two bath home with approximately eleven hundred twenty (1,120sf) square feet of living space. Each home will have a single car attached garage and parking for one additional car. Several plans will be offered, each one with a subtle difference of floor plan, exteriors and the interior upgrades. The homes will sit on lots ranging from 2,251sf to 4,210sf and some will share driveways.

Inclusionary On-Site Options:

At this time the developer has elected to provide on-site Option 2 (15% = 6% Median, 6% Moderate and 3% Workforce) from the table below.

Inclusionary Housing Calculation:

37 total units x 15% = 5.5 Inclusionary Units. Per Inclusionary Ordinance, fractional units .5 or higher, round up to 6 Inclusionary units

Median-Income = 3 units

Moderate-Income = 2 units

Workforce-Income = 1 units

Note: Inclusionary units may be exempt should the market-rate initial sales price be equivalent or less than the Inclusionary initial sales price.

For for-sale Inclusionary units, shared appreciation documents or other documents approved by the City Council shall be recorded against each Inclusionary unit prior to sale. However, if the price of the market-rate units in that phase of the residential development is equal to or below the affordable ownership cost for a median, moderate, or workforce income household, then no documents need be recorded against the Inclusionary units in the relevant income category.

Number of Units Required

In computing the total number of Inclusionary units required on-site in a residential development, fractions of one-half (1/2) or greater are rounded up to the next highest whole number, and fractions of less than one-half (1/2) are rounded down. For example, a 53-unit development choosing option three would provide 47 market-rate units and 6 affordable units ($53 \times .12 = 6.36$, rounded down to 6). A 55-unit development would provide 48 market-rate units and 7 affordable units ($55 \times .12 = 6.60$, rounded up to 7)

TABLE 1: SUMMARY OF STANDARD ON-SITE INCLUSIONARY OPTIONS

	Option 1	Option 2	Option 3
	20%	15%	12%
Very Low-Income (50% of median)	4% Ownership or rental	Not Required	8% Rental
Lower-Income (80% of median)	8% Ownership or rental	Not Required	4% Rental
Median-Income (100% of median)	Not Required	6% All must be ownership	Not Required
Moderate-Income (120% of median)	4% All must be ownership	6% All must be ownership	Not Required
Workforce-Income (160% of median)	4% All must be ownership	3% All must be ownership	Not Required

In-lieu Fee: None.

Other Alternatives: None.

Density Bonus: None.

37 Unit Development Summary							
Unit Type	# of Market-Rate Units	# of Inclusionary Units	Bdrm. Size	Sq. Ft.	Market-Rate Initial Sales Price	Inclusionary Initial Sales Price (w/out HOA)	Inclusionary Initial Sales Price (w/HOA)
Market-Rate	34	N/A	3	1,120	\$415,300 (w HOA) \$434,700 (w/out HOA)	N/A	N/A
Inclusionary Median-Income	N/A	3				\$355,650	\$336,300**
Inclusionary Moderate-Income	N/A	*Exempt				\$434,700	\$415,300**
Inclusionary Workforce-Income	N/A	*Exempt				\$592,700	\$573,400**
Total	34	3					

**Inclusionary units may be exempt from on-site construction requirements should the initial market-rate sales price be equivalent or lower than the Inclusionary unit initial sales price per income category.*

***Should an HOA be implemented, we anticipate no more than \$100/mo., this will cover the common area landscape, common lighting and the common roads providing they are not accepted by the City.*

Phasing: There will be no Phasing to build the units. All units are manufactured at the factory and shipped to the site. There will be a sales office offering the different models with upgrades. A deposit will be taken and the home ordered. Delivery is usually in 90 days or less.

Construction Completion Schedule: Once the tentative map is approved, work on the final map will begin.

Building Permits and Occupancy - Concurrent Construction Requirements

A building permit Specialist will track the issuance of building permits by construction phase, noting the number of both Inclusionary and market-rate unit permits, building permits will only be issued for market- rate units according to the terms of the recorded Inclusionary Housing Agreement. However, the City may issue permits for Inclusionary units earlier than specified in the plan.

The concurrency requirements are as follows:

The city may issue building permits for 70 percent of the market-rate units within a residential development before issuing any building permits for Inclusionary units, and may approve certificates of occupancy or final inspections for Inclusionary units. After this point, a developer may be issued building permits and receive final inspections for market-rate units after a proportional number of Inclusionary units have been issued building permits or have received a final inspection.

For example, if a developer proposes a 100-unit development, and uses option 1, they are obligated to provide 20 Inclusionary units, which means there will be 80 market-rate units. The City may issue building permits for 56 market-rate units $(70\% \times 80)$ before issuing any building permits for Inclusionary units, and may approve occupancy of 56 market-rate units before approving occupancy of any Inclusionary units.

Project Financing: The tentative map process to the final map process will be financed with private investors. The home to be sold will be financed individually by the prospective clients. There will be a loan office on site, which will handle all the loan requests. It is the intention of the developer to use a local bank in Salinas to do the loans. The homes will qualify for FHA, VA ,FANNIE and FREDDIE MAE loans and traditional financing.

Construction Standards: All homes will be manufactured in the factory and will be constructed in compliance with existing HUD codes. The subtle differences or upgrades on each unit depends on buyers personal choices. There will be upgrades for the interiors such as appliances, flooring and vaulted ceilings.

Marketing Plan

The City of Salinas has established preferences for rental or purchase of Inclusionary units. First priority is given to those displaced by City actions. Second priority is given to those displaced by private market actions, while third priority is given to those who live or work in Salinas when they submit an application. Any other eligible household may purchase or rent an Inclusionary unit if there are no households with priority. If a residential development is receiving governmental financial assistance that does not permit these preferences, or requires different preferences, then the City's preferences will be modified as needed to conform to the terms of the other program.

First-Time Homebuyers For ownership units, within each of the above three preference categories, preference will be given to households that qualify as first-time homebuyers. A first-time homebuyer is a person who has not owned a home during the three-year period prior to the purchase of the Inclusionary unit. A manufactured home not on a permanent foundation is not considered a "home" for the purpose of this subsection. A first-time homebuyer also includes a displaced homemaker. A displaced homemaker is an adult who has been legally separated from his or her spouse or domestic partner in the last three years, has no current ownership interest in a home, and has not had an ownership interest in his or her primary residence during the past three (3) years, except with his or her spouse or domestic partner. First-time homebuyer status is verified by a review of three years of federal income tax returns.

All Inclusionary units must be marketed in a manner consistent with the federal Fair Housing Act, the California Fair Employment and Housing Act, the Unruh Act, and the Equal Credit Opportunity Act, and all materials must have a fair housing statement or logo. No person may be excluded from participation in, or denied the benefit of, or be subject to discrimination under any activity related to the sale or rental of the Inclusionary units on the basis of his or her religion, age, race, color, creed, gender, sexual orientation, marital status, familial status, physical or mental disability, national origin, ancestry, source of income, or participation in Section 8.

The developer will adhere to the following marketing requirements:

(1) The developer will supply the City with a description or example of all marketing that will be done for the Inclusionary units, such as press releases, direct mailing, and advertising (including internet advertising). The City requires that all Inclusionary units be advertised in The Californian and El Sol. The City will provide a list of organizations that must be notified and informational flyers must be available at City Hall and at the offices of the Housing Authority of the County of Monterey (or of a similar organization acceptable to City). The Fair Housing logo must be used on all marketing material. The City encourages the preparation of Spanish-language materials where appropriate.

(2) The developer or designee will pre-screen Inclusionary applications and establish a deadline for Inclusionary applications. Developer should allow a generous amount of time (at least 45 days) for applicants to submit complete applications, given the complexity of the process.

(3) The developer must arrange for at least two informational Inclusionary workshops for potential applicants, one in the evening during the week and one on a weekend. At least one workshop must be conducted in Spanish, or in both Spanish and English.

(4) The developer will provide information regarding financing options to be made available to applicants, down payment assistance programs available, information needed to calculate the maximum sales price, and the unrestricted fair market value of the Inclusionary units.

(5) Developer or designee's sales staff will meet with the City's Housing Staff to receive training on the selection process and, for ownership units, the City homebuyer documents.

It is important that the developer's sales or management staff understand the application process and the restrictions placed on the Inclusionary units by the City. In the case of for-sale Inclusionary units, before entering into any purchase and sale agreement for the units, the developer's sales staff must receive training so that they understand and can explain the City's equity-sharing program, option to purchase, and other City restrictions such as the owner-occupancy requirement.

(6) After the deadline for submitting applications, the developer or designee reviews all applications and determines if the applicant is eligible to purchase a unit, based on income and preapproval letter. The developer or designee must verify income as described in the developer's marketing plan. The developer or designee then groups all apparently eligible applicants by the City's preference categories (residents displaced by public action, renters displaced by private action, those who live or work in the City, all others, and within each category, first-time homebuyers), unless another financing source requires changes in these preferences.

(7) The developer submits to the City: a) a complete listing of developer pre-screened applicants, sorted by preference group, and indicating the developer's determination of eligibility (in hard copy and in an electronic format, either in Excel or Word and also in PDF format); b) the complete file for each applicant, numbered to correspond to the list of applicants; c) the form of purchase and sale agreement; and d) preliminary DRE public report, if applicable.

(8) The City reviews and either approves or requests changes in the developer's submittals within 90 business days. Once the list of eligible applicants is approved, the City ranks all eligible applicants by preference group on a random basis, such as by a lottery. The

developer must send written notice to applicants determined to be ineligible by the City.

(9) The developer offers units to applicants beginning at the top of the list established by the City. The developer may not pass over an applicant higher on a list in favor of another because of a higher income. Applicants are to be taken in the order ranked and given a reasonable period of time to close escrow, normally 60 days after the unit's final inspection is approved, or after the applicant is selected to purchase a unit, whichever is later. The developer may only exclude ranked applicants because the applicants were not successful in obtaining financing, were not able to demonstrate the qualifying household income included in their application, or otherwise were not eligible. The developer must send written notice to any excluded applicant within 15 days of the decision to exclude the applicant; copies of such correspondence must be provided to the City. However, developers may close escrow on Inclusionary units in any order as homebuyers are able to do so.

If the applicant enters into a purchase agreement for the unit, the developer provides to the City for review: a) the copy of the loan underwriting form (Form 1008); b) estimated HUD-1 Settlement Statement;

b) legal description of the Inclusionary unit; and d) appraised value of the Inclusionary unit at unrestricted fair market value. Provided that the documents are consistent with previous representations, the City will provide to escrow, within fourteen working days of receipt of the required documentation, executed copies of its homebuyer documents, an executed release of the Affordable Housing Agreement to be recorded with the sale of the unit, and standard escrow instructions.



U4RIC Investments LLC
John Filghera
Authorized Representative

9/10/2020
Date



Christopher Valenzuela
City of Salinas Planning Manager

9/10/2020

Date



City of Salinas

DEVELOPMENT ENGINEERING (PW) • 65 West Alisal Street • Salinas, California

Phone: (831) 758-7251 • www.cityofsalinas.org

ENGINEER'S REPORT

DATE: 11/19/2020

PLANNER: Tom Wiles

OWNER/APPLICANT: Ted Theony/U4RIC Investments, LLC

PURPOSE: TM2019-002 & PUD2019-001

LOCATION: 11 Hill Circle

DEVELOPMENT PROPOSAL: 37 private residential lot subdivision of existing ~7.5 ac vacant site located FEMA zones AE and X.

RECOMMENDATION: Approved

SWDS CATEGORY: Priority Project (>10 lot subdivision)

SWDS THRESHOLD: Requirements 1-4 and 100-yr peak

NDPES CATEGORY: High Priority (SWPPP)

TENTATIVE MAP: The developer has submitted a Tentative Map to create thirty-seven (37) residential lots. The map, as presented, has been found to be consistent with existing record information and the Subdivision Ordinance, Chapter 31 of the Salinas Municipal Code (SMC). The following conditions must be addressed prior to recordation of the final map.

1. Project Description – Pursuant to SMC Section 31-903.4, private streets shall provide a permanent maintenance agreement (e.g. maintenance district) to ensure future maintenance. The project description shall identify the means the project will pursue to secure future maintenance of its facilities, including but not limited to common areas, walls, streets, paths, bioretention basins, culverts and water ways.
2. Boundary & Final Map – A final map, prepared by a California licensed land surveyor or civil engineer authorized to practice land surveying, shall conform with SMC Sections 31-402 through 31-402.8. More specifically, the final map must include the following:
 - a. The applicant shall indicate if multiple final maps are proposed to complete the tentative map improvements.
 - b. All survey and mathematical information and data necessary to locate all monuments and to locate and retrace any and all interior and exterior boundary lines appearing thereon shall be shown, including bearings and distances of straight lines, radii and arch length or chord bearings and length for all curves and any information which may be necessary to determinate the location of the centers of curves, and ties to existing monuments used to establish the subdivision boundaries.
 - c. Traverse calculations shall be required for review of a Final Map.
 - d. The location and description of all existing and proposed monuments shall be shown. All untagged monuments used for control or accepted as corners should be tagged by the preparer. Standard city monuments shall be set at the street centerline intersections, beginning and end of curbs or intersections of tangents and at location as required by the City Engineer.

- e. The map shall be legible, and care must be taken to clean overlapping text.
 - f. Each sheet shall have a title showing the subdivision name and location and space provided for the tract number.
 - g. The cover sheet shall include the owner's statement, trustee's certificate, if needed, surveyor's statement, City Engineer's statement, City Surveyor's certificate, Planning Manager certificate, City Clerk's certificate and County Recorder's statement in accordance with the Subdivision Map Act and SMC.
 - h. The names of all streets, alleys or highways within or adjoining the subdivision shall be shown.
 - i. All easements of record shall be shown on the map, together with the name of the grantee and sufficient recording data to identify the conveyance, such as document number and date or book and page of official records. The sidelines of all easements of record shall be shown by dashed lines on the final map with the widths, lengths and bearings of record.
 - j. Easements not disclosed by the records in the office of the County Recorder and found by the surveyor to be existing, shall be specifically designated on the map, identifying the apparent dominant tenements for which the easements were created.
 - k. According to the title report, an existing avigation easement agreement affects the subject property. While there isn't anything to plot on the map, a note should be added to the Final Map regarding the effect of the easement and rights waived by current and future owners as detailed in Instrument Number 2008-034027.
3. Reports and Documents – In accordance with SMC Section 31-402.5, the following reports and documents must be submitted for review and approval prior to approval of the Final Map and issuance of a grading permit.
- a. FEMA Floodplain – The area shown as floodplain does not follow the Flood Insurance Rate Map (FIRM). The applicant must provide the information as presented by FEMA. References to the must to made to SFHA zones and FIRM panel(s).
 - b. Wetlands and Riparian Areas - Provide reference information for the wetland areas as defined by the US Fish and Wildlife Service, National Wetlands Inventory, attached.
 - c. Biological Report – The plans shall be revised to include references to the various biological reports and define the existing and proposed riparian areas. Areas that will be impacted by the proposed development shall be shown mitigated on the biological report and exhibit. Improvement plans shall include ESA fencing to be required around riparian areas.
 - d. Soils Report – Prior to issuance of a grading/building permit, the project shall provide an updated soils report. Soils report shall be consistent with the proposed improvements and shall include infiltration rates for any proposed infiltration or bioretention facilities. Infiltration testing shall be measured at the design depth for the SCMs.
 - e. Traffic Study – A Traffic Impact Analysis (TIA) was prepared in 2004 by DKS Associates for the Los Laureles Senior Housing Development proposal at this site. The conclusion of that study no longer applies as this is a different type of development. Traffic impact fees will be assessed in accordance with the city's Traffic Fee Ordinance for single family homes. No additional traffic study is required.

- f. Hydrology and Hydraulic Calculations – Project engineer shall prepare a hydrology and hydraulic report showing the proposed piping and inlets meet the capacity requirements as specified in the city design standards.
- g. Sanitary Sewer Impact Calculations – The project engineer shall provide sanitary sewer flow calculations for the proposed piping along with sewer capacity calculation based on measured flows of the system in the immediate vicinity to verify capacity of the existing system with the added flow.
- h. Organizational Documents – Any proposed declarations, covenants, conditions, and restrictions, and all other organizational document for the subdivision in a form as prescribed by Section 4200 et seq. of the Civil Code. All documents shall be subject to review by the City Engineer, City Planner and City Attorney.
- i. Addressing Plan - The Final Map and improvement plans shall clearly identify the proposed streets as private streets. A list of potential street names and addresses shall be provided on an addressing plan, maximum size 8-1/2x14. Address number designations will be processed following recordation of the final map and prior to the issuance of any building permits.
- j. Engineer's Estimate – Project Engineer shall provide an Engineer's cost estimate for all construction encompassed on the improvement plans.

SITE PLAN REVIEW: Development Review Submittal prepared Hanna-Brunetti, dated October 2020 and Preliminary Stormwater Control Plan, dated October 2020. Improvement plans for construction shall be prepared in accordance with the City of Salinas Design Standards. The following comments shall be incorporated into the improvement plans:

- 1. Site Plan – The site plan shall clearly denote/show the following information:
 - a. Providing parking along the front of Lots 24-26, is not consistent with the zoning code and city standards. Staff recommends changing the orientation to these homes to face the creek, if parking is required. View fencing may be allowed if the appropriate deed restrictions are placed to not allow change of and to perpetually maintain the view fencing.
 - b. The site plan must clearly delineate red curbs and provide signage indicate roadways are fire lanes and no parking is allowed outside of designated parking areas.
- 2. Grading and Drainage Plan – Staff acknowledges that a mass grading permit was issued in 2008 for the previous development proposal. The grading plan shall be revised to correctly denote the following information:
 - a. Permeable surfaces on sloped roadways will require benched construction of the subsurface.
 - b. A roadway cross slope greater than 2% is not recommended. Cross slopes greater than 5% are not allowed.
 - c. A shoulder is recommended to support a roadway on a fill slope.
 - d. Adjust grading as required to not disturb the existing top of bank or creek and to limit grading within the 30-foot setback to the top of bank.
 - e. Pursuant to Section 31-902.3, stormwater basins shall be designed and landscaped to appear as natural or other aesthetically interesting feature.
 - f. Plan shall include plan and profile sheet for proposed roadways.
 - g. Plans shall include contours in intervals in accordance with the City Design Standards.
 - h. Plans shall include earthwork calculations and sections to clearly illustrated the proposed grading.

- i. Construction of site retaining walls shall require a building permit if 4-ft or greater, measure from the base of the foundation to the top of the wall.
 - j. Tops and toes of cut and fill slopes shall be set back from property boundary and structures in accordance with City Design Standards, Figure 4 or as recommended by project geotechnical report.
3. Utility Plan – Update the utility plan to include the following:
 - a. Pursuant to Section 31-902.6.1, all utilities shall be placed underground, including transformers.
 - b. The project shall provide a minimum of 6 signs in the vicinity of the ditch indicating “NO DUMPING VIOLATORS WILL BE PROSECUTED – NO TIRAR BASURA, LOS VIOLADORES SERAN MULTADOS – SALINAS CITY CODE SCC 14-18, 29-9”.
 - c. The project shall provide bilingual inlet markers at all inlets indicating “NO DUMPING DRAINS TO BAY”.
 4. Erosion Control Plan – Update the plan to include the following:
 - a. Provide inspection requirements for LID features.
 - b. Provide draft SWPPP for review and approval prior to NOI submittal to SMARTS.
 - c. Any areas disturbed must be landscaped or stabilized with a native hydroseeding mix.
 5. Stormwater Control Plan – The final report shall be updated to provide consistent information and to address the following comments.
 - a. Prior to issuance of a grading/building permit, updated geotechnical reports shall be provide with infiltration testing at the design depths.
 - b. Revise the time of concentration to 15 minutes minimum per city standards and review if this is adequate for DMA F.
 - c. SCM Sizing Calculator – Change landscape area to “replaced”.
 - d. SCM Sizing Calculator – Change the safety factor for the bioretention to 2.
 - e. Prior to issuance of a grading permit, maintenance plan for each of the propose SCMs shall be provided.
 - f. The project shall provide a sample deed restriction which will limit impervious areas for each lot consistent with the impervious areas assumed mitigated in the stormwater control plan. The stormwater control plan must clearly specify the impervious areas assumed for each lot.
 6. Public Improvements: Public improvements required of this development shall include, but are not limited to:
 - a. Constructing standard public improvements along the site's Hill Circle, North Madeira Avenue, and East Laurel Drive frontages conforming to City Resolution No. 12963 (N.C.S.)
 - b. Constructing new commercial driveway approaches with 4-foot ADA bypass behind ramps per the City's most current standards.
 - c. Reconstructing existing non-compliant pedestrian ramps at the Madeira Street / Hill Circle intersection per the latest CALTRANS standards.
 - d. Constructing curb, gutter and sidewalk where none currently exists along Hill Circle.
 - e. Installing two streetlights on East Laurel Drive and one streetlight at the Hill Circle cul-de-sac, per City standards.
 - f. Reconstructing all non-standard sidewalks to City standards along E Laurel Drive and Hill Circle to connect to the existing concrete sidewalk.
 - g. Installing landscaping and street trees along all street frontages (and within the site).

- h. Constructing a 6-ft masonry landscape wall along the East Laurel Drive frontage of lots 6 through 11. The remaining property from the wall to the edge of new sidewalk shall be landscaped with three tiers of planting, groundcover, shrubs and trees.
 - i. Landscaping and irrigation shall extend a minimum of 10-ft behind the sidewalk along the entire frontage of East Laurel Drive and North Madeira Ave. Landscaping shall include three tiers of planting; groundcover, shrubs and trees.
 - j. Landscaping near the area of the ditch shall be consistent with riparian habitat and approved by the project biologist.
 - k. Place a guardrail 8-ft behind the face of curb along East Laurel Drive in the area of the ditch.
 - l. New street pavement design shall be based upon the "R" value of the subgrade and the standard traffic index (TI) noted in Section 31-903.5 of the Salinas Subdivision Ordinance. A minimum TI of 7 shall be used for Hill Street cul-de-sac.
 - m. Adding a stop sign and crosswalk at Hill Cir and N Madeira Ave.
 - n. Curbs at the cul-da-sac shall be painted red and marked, "FIRE LANE – NO PARKING".
7. Pursuant to SMC Section 31-315, a subdivider may request an exception to any regulation or requirement included in this chapter, consistent with the procedures and findings of Sections 31-315.1, 31-315.2 and 31-315.3. The project proposed a deviation from the requirement for sidewalk along both sides of the proposed streets. Given the confined dimensions of the project, narrow roadways and steep terrain, staff has no objections with the proposed trail system which connects the project to N Madeira Ave to the west and E Laurel Dr to the east in lieu of the sidewalks.
8. Development Impact Fees – Based on the updated information provided with the revised submittal package dated October 2020, the proposed homes are assumed to be 3-bedroom single family homes. Development impact fees for a 37-lot subdivision are estimated at \$567,785. Fees are adjusted annually. Development impact fees are assessed prior to building permit issuance. See attached worksheet.

Notice: The Conditions of Approval for this Site Plan Review include certain fees and development requirements. Pursuant to Government Code Section 66020 (d)(1), this hereby constitutes written notice stating the amount of said fees, and describing the development requirements. The applicant is hereby notified that the 90-day appeal period in which he/she/they may protest these fees and development requirements, pursuant to Government Code Section 66020 (a), begins on the date the office land use permit is approved. If applicant files a written protest within this 90-day period complying with all requirements of Section 66020, he/she/they will be legally barred from challenging such fees and/or requirements at a later date.

CITY OF SALINAS

Reviewed By:



Adriana Robles, PE, CFM
 Senior Civil Engineer/Interim City Engineer
 adrianar@ci.salinas.ca.us
 (831) 758-7194

DEVELOPMENT FEES

RESIDENTIAL UNITS (2019-2020)

Address:	11 Hill Cir		Permit #:	Estimate Only	
Date:	9/3/2020		No. of Units:	37	
1. STREET TREE FEE					
0	Street Frontage (LF)	multiplier (per 60' frontage) \$353:	\$	-	
TOTAL STREET TREE FEE DUE:			\$	-	2304.00.0000-56.5110
2.PUBLIC UTILITY IMPACT FEE					
	No. Bedroom Credit	Total Bedrooms:	111	Assumes 3 bedroom units.	
		Net New Bedrooms	111		
		Fee Per Bedroom:	\$	547.00	
TOTAL SANITARY SEWER FEE DUE:			\$	60,717.00	2301.00.0000-56.5120
		Fee Per Bedroom:	\$	586.00	
TOTAL STORM DRAIN FEE DUE:			\$	65,046.00	2301.00.0000-56.5130
3. PARK FEE					
		Fee Per Bedroom:	\$	1,004.00	
TOTAL PARK FEE DUE:			\$	111,444.00	2302.00.0000-56.5140
4. TRAFFIC IMPACT FEE					
0	Existing Trip Rate	Trip Rate Per Unit:	10	SFR 10 trips/unit	
		Net Trips:	370		
		Fee Per Trip (\$390/\$564 FGA):	\$		
TOTAL TRAFFIC IMPACT FEE DUE:			\$	144,300.00	2306.00.0000-56.5150
5. REGIONAL DEVELOPMENT IMPACT FEE				Per attached TAMC worksheet.	
Fee assessed by the Transportation Agency for Monterey County			\$	38,441.06	8809.81.8157-57.8640
6. PUBLIC FACILITIES IMPACT FEES					
FIRE IMPACT FEE:		Fee Per Dwelling Unit:	\$	317.00	Use \$308.51/DU for MFRs
			\$	11,729.00	2307.00.0000-56.5160
POLICE IMPACT FEE:		Fee Per Dwelling Unit:	\$	1,742.53	
			\$	64,473.61	2308.00.0000-56.5160
LIBRARY IMPACT FEE:		Fee Per Dwelling Unit:	\$	1,241.39	
			\$	45,931.43	2303.00.0000-56.5160
RECREATION IMPACT FEE:		Fee Per Dwelling Unit:	\$	689.26	
			\$	25,502.62	2302.00.0000-56.5160
TOTAL DEVELOPMENT FEES DUE:			\$ 567,584.72		

Effective: July 1, 2019

Valid through: June 30, 2020

Regional Development Impact Fees

Fee Calculation Worksheet

Last updated October 1, 2018

Project Name:

Date:

Select the Benefit Zone:

GREATER SALINAS

Select the Agency:

City of Salinas

Select the Land Use Type:	Fee Schedule	Enter the # of Units	Fees
1 Single-Family (Low Income)	\$1,909.92	37	\$70,667.04
2	\$0.00		\$0.00
3	\$0.00		\$0.00
4	\$0.00		\$0.00
5	\$0.00		\$0.00
Calculate by Fee per Trip (Only use for appeals)	\$346		\$0.00
Subtotal:			\$70,667.04
Apply discount:		45.60%	\$32,225.98
Apply credits:			\$0.00
Total Regional Fee:			<u>\$38,441.06</u>

Airport Comments on PUD 2019-001 and TM 2019-002 (11 Hill Circle) received on June 12, 2019

1. As a condition of the CUP approval the applicant must file with the FAA form 7460-1, Notice of Proposed Construction or Alteration. The aeronautical study must have a Determination of No Hazard to Air Navigation and the structure(s) would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Further, the application must comply with any conditions imposed by the FAA.
(<https://www.faa.gov/forms/index.cfm/go/document.information/documentID/186273>).
2. The Airport recommends a Grant of Aviation Easement Agreement for the associated parcel be secured and recorded.
3. The parcel is located on the extended centerline for Runway 13/31 and will experience noise exposure from over-flight aircraft. A portion of the parcel is located within 55 CNEL (Community Noise Equivalent Level) contour as depicted in the Year 2000 CNEL Noise Contour exhibit in the Salinas Municipal Airport Land Use Plan. The development should be developed to accommodate and be resilient to over-flight noise exposure. The developer should engineer the development to accommodate 55 Community Noise Equivalent Level (CNEL) as per the Salinas Municipal Airport Land Use Plan or the General Plan, which ever provides greater protection.

REVISED HILL CIRCLE PROJECT
MITIGATION MONITORING AND REPORTING PROGRAM
11 HILL CIRCLE DATED MARCH 9, 2021 (Revisions in underline)
(PLANNED UNIT DEVELOPMENT PERMIT 2019-001 & TENTATIVE MAP 2019-002)

Mitigation Number	Nature of Mitigation	Result after Mitigation	Party Responsible for Implementing	Party Responsible for Monitoring: Method to Confirm Implementation	Timing for Implementation
AES-1 Aesthetics	Submit a photometric lighting plan to the Community Development Department demonstrating compliance with City Standards with regards to light and glare.	To minimize light impacts to adjacent properties.	Applicant, or Successor in Interest.	Permit Center – Building Division and Community Development – Current Planning Division	Prior to issuance of a building permit.
AQ-1 Air Quality	During construction, the applicant or successor in interest shall: a) Limit grading to 8.1 acres per day, and limit grading and excavation to 2.2 acres per day. b) Provide watering trucks on site to maintain adequate soil moisture during grading and water graded/excavated areas at least twice daily, thus minimizing dust generation. In addition, the water trucks shall be used to wash down trucks and tractors, including earth loads, prior to entering public roadways. c) Prohibit all grading activities during periods of high wind. d) Maintain a minimum of two feet for freeboard for all haul trucks. e) Cover all trucks hauling dirt, sand, or loose materials. f) Cover inactive storage piles. g) Enforce a 15-mph speed limit for all unpaved surfaces when visible dust clouds are formed by vehicle movement. h) Place gravel base near site entrances to clean tires prior to entering public roadways.	To minimize air quality impacts.	Applicant, or Successor in Interest.	Permit Center – Building Division	During construction phase.
AQ-2 Air Quality	Consult with the Monterey Bay Unified Air Pollution Control District regarding the potential need for a diesel health risk assessment and shall mitigate diesel impacts to a less than significant level in accordance with the Air District requirements.	To minimize air quality impacts.	Applicant, or Successor in Interest.	Permit Center – Building Division	During construction phase.
AQ-3 Air Quality	All applicable permits from the Monterey Bay Air Resources District shall be obtained for building demolition and construction.	To minimize air quality impacts.	Applicant, or Successor in Interest.	Permit Center – Building Division	During construction phase.

Mitigation Number	Nature of Mitigation	Result after Mitigation	Party Responsible for Implementing	Party Responsible for Monitoring: Method to Confirm Implementation	Timing for Implementation
BIO-1 Biological Resources	As riparian woodland and in-stream habitats are regulated areas and the proposed creek/ditch crossings will require review and permitting, the Applicant, or successor in interest, shall secure a Streambed Alteration Agreement from the California Department of Fish and Game prior to construction, if needed. Prior to issuance of any Grading and/or Building Permit, the Applicant, or successor in interest, shall submit to Community Development Department a copy of the Streambed Alteration Agreement for the Project or written documentation from the California Department of Fish and Game that a Streambed Alteration Agreement is not necessary required for the Project. Consultation and/or permits from the United States Army Corps of Engineers and the California Regional Water Quality Control Board would only be required if fill or discharge is proposed within the creek. The Applicant, or successor in interest, shall secure such permits from these agencies, if necessary, prior to issuance of any grading and/or building permits. Copies of all such permits shall be provided to the City of Salinas (Community Development Department).	To minimize impacts on biological resources	Applicant or successor in interest	Community Development Department – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit

Mitigation Number	Nature of Mitigation	Result after Mitigation	Party Responsible for Implementing	Party Responsible for Monitoring: Method to Confirm Implementation	Timing for Implementation
BIO-2 Biological Resources	To compensate for direct impacts to riparian resources along Sanborn Creek/ Madeira Ditch, the Applicant, or successor in interest, shall submit a Riparian Mitigation and Monitoring Plan, prepared by a qualified biologist, to the City of Salinas (Community Development Department) and to the California Department of Fish and Game for review and approval prior to issuance of any grading and/or building permits. Written verification of approval of said plan by the California Department of Fish and Game shall be provided to the Community Development Department. The Plan shall depict riparian mitigation area(s) that collectively encompass a minimum of 0.87 acre (3:1 replacement ratio). Non-planted areas, such as the active streambed of Sanborn Creek/Madeira Ditch, shall not be included in the acreage calculation. The riparian mitigation area(s) shall be designated as natural open space and protected as such in perpetuity. No landscaping (except habitat restoration landscaping), building additions, or other disturbances shall be allowed with the designated mitigation areas. Access to the mitigation areas shall be limited to pedestrian use only; no pets shall be allowed within the mitigation areas. The Plan shall depict the location and size of all planting stock, and shall include an irrigation plan, and applicable planting details. The Plan shall specify/require the use of locally native riparian plant species and specify/require a five-year maintenance and monitoring program. The plan shall require monitoring of the mitigation areas a minimum of twice a year by a qualified biologist. During each year of the five-year monitoring periods, plantings shall achieve a minimum 80% survival rate for the revegetation to be deemed successful. The Plan shall also incorporate fencing and landscaping requirements as described below in BIO-2.1, BIO-2.2, and BIO-2.3 (as shown below). The Applicant, or successor in interest, shall be responsible for the cost of the City's review the Plan, including the cost of a qualified biologist to review the Plan.	To minimize impacts on biological resources	Applicant or successor in interest	Community Development Department – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit

Mitigation Number	Nature of Mitigation	Result after Mitigation	Party Responsible for Implementing	Party Responsible for Monitoring: Method to Confirm Implementation	Timing for Implementation
BIO-2.1 Biological Resources	To minimize indirect impacts to Sanborn Creek/Madeira Ditch and the riparian mitigation areas, the Riparian Mitigation and Monitoring Plan shall depict a vegetative buffer consisting of a row of shrubs measuring a minimum of three feet in height at maturity, between the residential development areas and the riparian mitigation areas. The row of shrubs shall create a physical barrier between residential areas and the adjacent riparian mitigation area and aquatic resources within Sanborn Creek/Madeira Ditch – in order to discourage off-trail use in the mitigation areas. Native, drought tolerant plant species shall be used in the vegetative buffer. The Plan shall also depict temporary fencing (a minimum of three feet in height and consisting of open, split-rail type, or post and wire, or similar design) between the residential development areas and riparian mitigation areas to create a physical barrier, which shall be provided until such time as the vegetative buffer reaches maturity and establishes a physical barrier measuring a minimum of three feet in height.	To minimize impacts on biological resources	Applicant or successor in interest	Community Development Department – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit

Mitigation Number	Nature of Mitigation	Result after Mitigation	Party Responsible for Implementing	Party Responsible for Monitoring: Method to Confirm Implementation	Timing for Implementation
BIO-2.2 Biological Resources	To compensate for impacts to riparian resources along Sanborn Creek/ Madeira Ditch, the Riparian Mitigation and Monitoring Plan shall prohibit removal, trimming or pruning of vegetation within the riparian mitigation areas (with the exception of invasive, non-native plant species), and with the following exceptions: removal, trimming or pruning of vegetation that is absolutely necessary for the protection of public health, safety, and welfare relative to vector control by the Northern Salinas Valley Mosquito Abatement District (NSVMAD); and selective pruning, trimming, or thinning of faster-growing, more vigorous tree species in order to create an environment that will support a diversity of tree species, other plant species, healthy individuals, and regeneration. Pruning vegetation to provide residential views to the creek, provide non-native landscape areas adjacent to residences, or provide other residential activities/features shall be prohibited. If such actions occur, the Applicant, or successor in interest, shall be required to restore the damaged mitigation plantings. Presently, the property supports occurrences of invasive, non-native plant species (English ivy, sea fig/ice plant, and giant reed). These occurrences, as well as other invasive, non-native plant species that may establish on the property in the future, shall be removed concurrent with project construction. The Applicant, or successor in interest, shall coordinate with the Northern Salinas Valley Mosquito Abatement District to ensure that riparian vegetation will generally not be cut for mosquito abatement purposes, except in the locations where it is necessary to access the creek/ditch and except as absolutely necessary for the protection of public health, safety, and welfare relative to vector control by the Northern Salinas Valley Mosquito Abatement District (NSVMAD). The District is encouraged to utilize <i>Bacillus thuringiensis israelensis</i> (Bti), a naturally occurring soil bacterium, for the control of mosquito larvae on the subject property.	To minimize impacts on biological resources	Applicant or successor in interest	Community Development Department – Current Planning Division and Public Works Department – Engineering Section	Prior to issuance of a building or grading permit

Mitigation Number	Nature of Mitigation	Result after Mitigation	Party Responsible for Implementing	Party Responsible for Monitoring: Method to Confirm	Timing for Implementation
BIO-2.3 Biological Resources	To minimize impacts of the project on the riparian resources of Sanborn Creek/Madeira Ditch, the Applicant, or successor in interest, shall prepare and implement a landscape plan for the property. The landscaping within the development area shall emphasize the use of native, drought-tolerant plant species. The use of invasive, non-native plant species ranked high, moderate and low in the California Invasive Plant Inventory (www.cal-ipc.org) shall be prohibited.	To minimize impacts on biological resources	Applicant or successor in interest	Community Development Department – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit
BIO-3 Biological Resources	At the time of grading/construction of the project, the Applicant, or successor in interest, shall implement the Riparian Mitigation and Monitoring Plan as described in BIO-2, BIO-2.1, BIO-2.2, and BIO-2.3 (as shown above). The site shall be in compliance with the Plan prior to occupancy of the first unit. The Applicant, or successor in interest, shall be responsible for the cost of inspections prior to occupancy, including the cost of a qualified biologist to verify compliance with the Habitat Restoration and Mitigation Plan.	To minimize impacts on biological resources	Applicant or successor in interest	Community Development Department – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit
BIO-4 Biological Resources	To compensate for impacts to riparian resources along Sanborn Creek/ Madeira Ditch, a qualified biologist shall monitor the project's compliance with the Riparian Mitigation and Monitoring Plan. Monitoring shall be for a period of five years, or longer if performance standards are not met. The biologist shall conduct monitoring as specified in the mitigation plan, including compliance with BIO-2, BIO-2.1, BIO-2.2, and BIO-2.3 and prepare yearly monitoring reports for the City of Salinas (Community Development Department) and the California Department of Fish and Game at the end of each monitoring year. The reports shall identify the plant survival rate, maintenance actions at the site, and include photographs documenting the status of the revegetation. The Applicant, or successor in interest, shall implement remedial measures if performance standards are not achieved in any of the monitoring years. Remedial measures may include replacement plantings, an increase in maintenance, changes to the irrigation regime, or other measures identified in the monitoring report. The developer/ property owner, or successor in interest shall be responsible for the costs of the mitigation and monitoring.	To minimize impacts on biological resources	Applicant or successor in interest	Community Development Department – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit

Mitigation Number	Nature of Mitigation	Result after Mitigation	Party Responsible for Implementing	Party Responsible for Monitoring: Method to Confirm Implementation	Timing for Implementation
BIO-5 Biological Resources	Riparian woodland and mitigation areas shall be maintained and preserved as natural open space in perpetuity. No additional development shall be allowed in the restoration/mitigation areas. The site shall be subject to periodic monitoring inspections by the City (Community Development Department) of these areas to ensure compliance with implementation of the Habitat Restoration and Mitigation Plan. The Applicant, or successor in interest, shall be responsible for the costs of the monitoring including the cost of a qualified biologist to verify compliance with the Habitat Restoration and Mitigation Plan. To minimize impacts to Sanborn Creek/Madeira Ditch, the project shall use Low Impact Development (LID) design features that benefit water quality and minimize impacts to biological resources, including but not limited to: • Use of grassy swales and bio-filtration measures for collecting and filtering runoff from paved/developed surfaces. • Use of arched culverts that minimize impacts to the creek/ditch channel. • Use of native, drought tolerant plant species for project landscaping. • Use of pervious pavement in parking stalls. • Use of underground stormwater chambers. • Possible use of other pollutant-removal devices, as determined by the City Engineer. Periodic maintenance of such features (described above), as determined by the City Engineer. The Applicant, or successor in interest, shall be responsible for the costs of maintenance and monitoring of the maintenance of the LID design features described above.	To minimize impacts on biological resources	Applicant or successor in interest	Community Development – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit
BIO-6 Biological Resources	To minimize impacts to Sanborn Creek/Madeira Ditch, the project shall use Low Impact Development (LID) design features that benefit water quality and minimize impacts to biological resources, including but not limited to: • Use of grassy swales and bio-filtration measures for collecting and filtering runoff from paved/developed surfaces. • Use of arched culverts that minimize impacts to the creek/ditch channel. • Use of native, drought tolerant plant species for project landscaping. • Use of pervious pavement in parking stalls. • Use of underground stormwater chambers. • Possible use of other pollutant-removal devices, as determined by the City Engineer. Periodic maintenance of such features (described above), as determined by the City Engineer. The Applicant, or successor in interest, shall be responsible for the costs of maintenance and monitoring of the maintenance of the LID design features described above.	To minimize impacts on biological resources	Applicant or successor in interest	Community Development – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit

Mitigation Number	Nature of Mitigation	Result after Mitigation	Party Responsible for Implementing	Party Responsible for Monitoring: Method to Confirm Implementation	Timing for Implementation
BIO-7 Biological Resources	To minimize project impacts to Sanborn Creek/Madeira Ditch, all lighting within 100 feet of the creek/ditch shall be fully shielded and directed away from the creek/ditch and riparian mitigation areas, subject to verification on photometric lighting plans (see Mitigation Measure AE-1).	To minimize impacts on biological resources	Applicant or successor in interest	Community Development Department – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit
BIO-8 Biological Resources	To avoid impacts to nesting birds during project construction, the removal of willows shall be scheduled for the non-nesting bird season (i.e., between September and March of any given year). If this is not feasible, no more than 30 days prior to any ground disturbance or vegetation removal, the Applicant, or successor in interest, shall hire a qualified biologist to conduct surveys for nesting birds. If any protected bird species (e.g., migratory birds, species of special concern, raptors) are observed nesting on the property, the biologist shall stake out a buffer zone around the nest where no construction shall occur until the biologist has determined that all young have fledged. The buffer zone may vary from 50 to 300 feet depending on the nesting bird species. Written results of the survey by the biologist shall be submitted to the City (Community Development Department).	To minimize impacts on biological resources	Applicant or successor in interest	Community Development Department – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit
BIO-9 Biological Resources	To minimize construction period impacts to Sanborn Creek/Madeira Ditch, prior to construction the Applicant, or successor in interest, shall install silt fencing along the top of bank of Sanborn Creek or edge of riparian woodland (whichever is greater) to ensure that no fill, soil dislodged through construction activities, or any other debris enters the creek channel and/or retained riparian vegetation. Sanborn Creek/Madeira Ditch and associated riparian woodland areas shall not be used as a storage or staging area for construction. The Applicant, or successor in interest, shall implement erosion control measures to ensure that fill or loose soil will be secure and not subject to erosion and deposition into the creek after completion of the project.	To minimize impacts on biological resources	Applicant or successor in interest	Community Development Department – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit

Mitigation Number	Nature of Mitigation	Result after Mitigation	Party Responsible for Implementing	Party Responsible for Monitoring: Method to Confirm Implementation	Timing for Implementation
BIO-10 Biological Resources	To minimize impacts to native wildlife utilizing Sanborn Creek/Madeira Ditch, the Applicant or successor in interest, shall notify renters that pets, such as dogs and cats, are prohibited from the riparian woodland and riparian mitigation areas. The project shall limit pets to a maximum of one indoor cat or dog per dwelling unit. Pets shall only be allowed outdoors when accompanied by a responsible adult and restrained by a leash or similar restraint device.	To minimize impacts on biological resources	Applicant or successor in interest	Community Development Department – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit
BIO-11 Biological Resources	Prepare and distribute to all future property owners located on the project site a "Creek Information Sheet" describing the location, purpose, and use restrictions within the riparian woodland and riparian mitigation areas. The use restrictions shall also be stated in the any future rental agreement for any lot located on the project site. The "Creek Information Sheet" is subject to review and approval by the City. The Applicant, or successor in interest, shall be responsible for the cost of the preparation, review, and distribution of the "Creek Information Sheet."	To minimize impacts on biological resources	Applicant or successor in interest	Community Development Department – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit
BIO-12 Biological Resources	To allow movement of wildlife along Sanborn Creek/Madeira Ditch and adjacent habitat, no fencing is allowed abutting/adjacent to the creek/ditch and adjacent parcels that support undeveloped open space areas, except that wire/metal-strand fencing with a minimum clearance of 18 inches between the ground and the first wire may be allowed. Such fencing, if proposed, shall be reviewed, approved, and inspected by the City of Salinas (Community Development Department). The Applicant, or successor in interest, shall be responsible for the cost of the City's review.	To minimize impacts on biological resources	Applicant or successor in interest	Community Development Department – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit
BIO-13 Biological Resources	To minimize impacts to riparian resources along Sanborn Creek/Madeira Ditch, the Applicant, or successor in interest, shall limit the use of chemical herbicides and pesticides. Pesticide use shall be part of an integrated pest management program in which natural means of control are used and pesticide use is infrequent and timed to coincide with periods of maximum pest vulnerability. Upon written request by the City, the Applicant, or successor in interest, shall provide a written pesticide use summary to the City within 30 days of the City's request.	To minimize impacts on biological resources	Applicant or successor in interest	Community Development Department – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit

Mitigation Number	Nature of Mitigation	Result after Mitigation	Party Responsible for Implementing	Party Responsible for Monitoring: Method to Confirm Implementation	Timing for Implementation
BIO-14 Biological Resources	All on-site bioretention areas shall be planted with native herbaceous grasses, sedges, rushes, and forbs. Soil from the two (2) on-site location identified in the "Updated Biological Survey Report for the Hill Circle Property, 11 Hill Circle, Salinas CA" dated October 10, 2019 where Congdon's Tarplant was observed to be located, shall be spread around the outer areas of all on-site bioretention areas.	To minimize impacts on biological resources	Applicant or successor in interest	Community Development Department – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit
CU-1 Cultural Resources and TCR-1 Tribal Cultural Resources	In the event that cultural materials are encountered during grading/construction, all work shall cease until the find has been evaluated and mitigation measures put in place for the disposition and protection of any find pursuant to Public Resources Code Section 21083.2.	To ensure protection of any on-site cultural resources	Applicant, or Successor in Interest.	Development and Engineering Services Department – Plan Check Services and Community Development Department	During construction phase.
GS-1 Geology/ Soils	All construction shall meet the seismic building standards required in the most recent, adopted edition of the California Building Standards Code.	To minimize on-site seismic risk.	Applicant, or Successor in Interest.	Permit Center – Building Division	Plan submittal stage/prior to issuance of building permit.
GS-2 Geology/ Soils	A geologic report, soils report, and structural calculations prepared by certified professionals shall be provided. Results and conclusions of the reports shall be incorporated into the final project design.	To minimize on-site seismic risk.	Applicant, or Successor in Interest.	Permit Center – Building Division	Plan submittal stage/prior to issuance of building permit.
GS-3 Geology/ Soils	A grading permit shall be obtained, subject to review and approval by the City Engineer pursuant to the California Building Standards Code, the City of Salinas Grading Ordinance, the City's NPDES Permit, and other applicable City Codes and standards.	To minimize on-site seismic risk.	Applicant, or Successor in Interest.	Permit Center – Building Division	Plan submittal stage/prior to issuance of building permit.
GS-4 Geology/ Soils	A detailed grading plan that shows existing and new grades/contours shall be submitted by the Applicant, or successor in interest, to the City Engineer for review and approval. Grading plans shall include tie-in grading to existing improvements/development, cut and fill locations with likely key-in details, provisions for varied slopes to provide a natural looking topography, and natural looking retaining wall systems to soften grade differentials on the site (i.e. allen block walls, or equal). Flowlines in gutters shall have a minimum slope of 0.4%, and generally a maximum slope of 5%. Grading plans shall show the building envelope on each lot, the proposed and existing	To ensure compliance with water quality standards	Applicant, or Successor in Interest.	Permit Center – Building Division	Plan submittal stage/prior to issuance of building permit.

Mitigation Number	Nature of Mitigation	Result after Mitigation	Party Responsible for Implementing	Party Responsible for Monitoring: Method to Confirm Implementation	Timing for Implementation
	contours, proposed building envelop finished pad and finished floor elevations, and other structures as required. Grading shall conform to the City "Erosion and Grading Control Ordinance" and Standard Plan No. 47, "Slope Grading". Retaining walls greater than two (2) feet in height shall be constructed of material more durable than wood (concrete, masonry, etc.), and shall be approved by the City Engineer/ Building Official prior to installation. A soils report will be required for the design of said walls and grading, and building permits may be required for certain retaining walls.				
HH-1 Hazards and Hazardous Materials	File with the Federal Aviation Administration (FAA) a form 7460-1, Notice of Proposed Construction or Alteration. The aeronautical study must have a Determination of No Hazard to Air Navigation and the structure(s) would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Further, the application must comply with any conditions imposed by the FAA (https://www.faa.gov/forms/index.cfm/go/document.information/documentID/186273).	To minimize impacts to Airport operations	Applicant, or Successor in Interest.	Salinas Municipal Airport and Community Development – Current Planning Division	Prior to issuance of a building permit.
HH-2 Hazards and Hazardous Materials	Obtain a recorded Grant of Aviation Easement Agreement.	To minimize impacts to Airport operations	Applicant, or Successor in Interest.	Public Works Department - Salinas Municipal Airport and Community Development – Current Planning Division	Prior to issuance of a building permit.

Mitigation Number	Nature of Mitigation	Result after Mitigation	Party Responsible for Implementing	Party Responsible for Monitoring: Method to Confirm Implementation	Timing for Implementation
HH-3 Hazards and Hazardous Materials	To address noise exposure from the Salinas Municipal Airport, any future development located on the project site shall be designed to accommodate 55 Community Noise Equivalent Level (CNEL) as per the Salinas Municipal Airport Land Use Plan or the Salinas General Plan, which ever provides greater protection.	To minimize impacts to Airport operations	Applicant, or Successor in Interest.	Public Works Department - Salinas Municipal Airport and Community Development Department – Current Planning Division	Prior to issuance of a building permit.

Mitigation Number	Nature of Mitigation	Result after Mitigation	Party Responsible for Implementing	Party Responsible for Monitoring: Method to Confirm Implementation	Timing for Implementation
HW-1 Hydrology and Water Quality	All applicable NPDES/NOI/SWPPP permits will be required and shall be obtained from the State Water Resources Quality Control Board prior to any construction activities, per EPA regulations. Development shall comply with all NPDES requirements in effect when building permits are issued, including provisions/ requirements contained in the City's most current NPDES permit. The developer/ property owner, or successor in interest, will be required to provide erosion control measures on all slopes indicated on the plan or resulting from site grading. Erosion control shall conform to all applicable Federal, State, and City standards). The Storm Water Pollution Prevention Plan (SWPPP) shall include a plan indicating erosion control measures and Best Management Practices (BMPs) and Best Available Technologies (BATs) proposed for this site. Said measures shall include, but are not limited to: installing a rock over filter fabric construction access at the site per City standards; placing straw wattles around the project site or on the downstream side of construction during construction activity (including along the top of bank along the creek/ditch); placing gravel bags over all inlets potentially impacted by construction activities; providing a concrete washout facility on the site; placing check dams along the creek/ditch corridor to "trap" sediment (without impacting potential fish passage); and sweeping streets on a daily basis (adjacent to the site) to keep them clean. The development shall provide a Storm Water Management Plan (SWMP) identifying low impact development (LID) strategies and related facilities/design methods to reduce storm water runoff, encourage percolation into native soils, clean discharges using bio-filtration, and address long-term NPDES requirements. SWMP measures may include, but are not limited to: using bio-swales and grassy swales in the project design, installing larger canopy trees throughout the site to intercept stormwater, restoring the creek/ditch with a more hearty plant habitat, reducing impervious surfaces, and using more permeable pavement strategies on the site; all as applicable. Further, clean water discharge requirements in effect at the time of construction and mitigation measures/ requirements noted in the Biological Resources Section of this Initial Study are required elements of the project.	To minimize impacts on biological resources	Applicant or successor in interest	Community Development Department – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit

Mitigation Number	Nature of Mitigation	Result after Mitigation	Party Responsible for Implementing	Party Responsible for Monitoring: Method to Confirm Implementation	Timing for Implementation
HW-2 Hydrology and Water Quality	To ensure that the design of the Project shall not create an environment conducive to mosquito-breeding, the underground stormwater chambers (and all applicable drainage features of the Project) shall comply with City standards including, but not limited to, a 72-hour maximum detention period, a one percent minimum positive slope for all conveyance piping, and a minimum velocity of two feet per second for all conveyance piping. Prior to issuance of any Grading and/or Building Permit, the Applicant, or successor in interest, shall submit grading/drainage plans demonstrating, to the satisfaction of the City Engineer, that the underground stormwater chambers (and all applicable drainage features of the Project) are in compliance with City standards.	To minimize impacts on biological resources	Applicant or successor in interest	Community Development Department – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit
HW-3 Hydrology and Water Quality	To ensure that the design of the Project shall not create an environment conducive to mosquito-breeding, the underground stormwater chambers (and all applicable drainage features of the Project) shall have adequate maintenance access, and the facilities shall be inspected and maintained regularly. Prior to issuance of any Grading and/or Building Permit, the Applicant, or successor in interest, shall submit grading/drainage plans demonstrating, to the satisfaction of the City Engineer, that the underground stormwater chambers (and all applicable drainage features of the Project) shall have adequate maintenance access. Additionally, prior to issuance of any Grading and/or Building Permit, the Applicant, or successor in interest, shall submit an inspection and maintenance program, to the satisfaction of the City Engineer in consultation with the Northern Salinas Mosquito Abatement District (NSVMAD).	To minimize impacts on biological resources	Applicant or successor in interest	Community Development Department – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit
HW-4 Hydrology and Water Quality	Maintain the on-site creek/ditch in a manner to preclude mosquito breeding and to preclude potential flooding including, but not necessarily limited to, prompt removal of urban refuse and prompt removal of emergent vegetation (i.e., vegetation growing up from the bed of the creek/ditch, creating areas of stagnant water and inhibiting wind action, which is conducive to mosquito breeding).	To minimize impacts on biological resources	Applicant or successor in interest	Community Development Department – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit

Mitigation Number	Nature of Mitigation	Result after Mitigation	Party Responsible for Implementing	Party Responsible for Monitoring: Method to Confirm Implementation	Timing for Implementation
HW-5 Hydrology and Water Quality	Two points of vehicular access to the on-site creek/ditch shall be provided for equipment and staff of the Northern Salinas Valley Mosquito Abatement District (NSVMAD). As the vehicular access would need to be provided through proposed areas of riparian habitat restoration, the surface area of the vehicular access shall consist of "permeable pavement" that would allow vegetation to grow through it (i.e., articulated mats, geo cells, drainage cells). Also, the fencing (i.e., split-rail or similar) required by Mitigation Measure BIO-2.1 shall be gated at the vehicular access points to allow NSVMAD to access the creek/ditch. Grading/building plans demonstrating such access shall be submitted to the City of Salinas by the Applicant, or successor in interest, for review and approval by the City Engineer and the City Planner in consultation with the Northern Salinas Valley Mosquito Abatement District (NSVMAD) prior to issuance of any Grading and/or Building Permits. The proposed areas of riparian habitat restoration which will be essentially eliminated where the two vehicular access points are located, such areas shall not be counted as areas of habitat restoration for purposes of compliance with the Mitigation Measures relative to Biological Resources.	To minimize impacts on biological resources	Applicant or successor in interest	Community Development Department – Current Planning Division and Public Works Department – Development Engineering Section	Prior to issuance of a building or grading permit
N-1 Noise	To provide sound attenuation, an eight (8) foot high masonry landscaped wall shall be constructed along the east property line.	To reduce noise impacts to adjacent residential development.	Applicant, or Successor in Interest.	Public Works Department – Development Engineering Section	During Construction
N-2 Noise	To provide sound attenuation, all dwelling units shall be constructed with sound insulation of the façade and window system in accordance with the plans reviewed by the acoustical engineer. The basic façade is comprised of the CertainTeed cement board on 2 x 6 framing with ½ inch gypsum board and six-inch batt insulation in the interstitial space. This façade system provides sound insulation with a minimum rating of STC 40. The windows will be comprised of dual pane insulating glass with a minimum internal air space of ¼ inch. This will provide a minimum STC 31 insulating performance. The composite noise reduction of the façade/window system is STC 36.	To reduce noise impacts to adjacent residential development.	Applicant, or Successor in Interest.	Public Works Department – Development Engineering Section; Permit Center – Building Division; and Community Development Department – Current Planning Division	During Construction
N-3 Noise	To reduce short-term noise impacts to existing residential development within the proximity of the site, construction activities shall be limited to between the hours of 7:00 a.m. and 7:00 p.m.	To reduce noise impacts to adjacent	Applicant, or Successor in Interest.	Permit Center – Building Division	During Construction

Mitigation Number	Nature of Mitigation	Result after Mitigation	Party Responsible for Implementing	Party Responsible for Monitoring: Method to Confirm Implementation	Timing for Implementation
		residential development.			
TR-1 Transportation	Pay all applicable traffic impact fees.	To reduce impacts to traffic and circulation	Applicant, or Successor in Interest.	Public Works Department – Development Engineering Section	Prior to issuance of a building permit
TR-2 Transportation	Pay a “fair share” contribution toward the East Laurel Drive–Saint Edwards Drive traffic signal or alternative intersection control device if determined to be more appropriate for the location following the completion of an Intersection Control Evaluation Study.	To reduce impacts to traffic and circulation	Applicant, or Successor in Interest.	Public Works Department – Development Engineering Section	Prior to issuance of a building permit
TR-3 Transportation	Construct public street improvements along the site's street frontages.	To reduce impacts to traffic and circulation	Applicant, or Successor in Interest.	Public Works Department – Development Engineering Section	Prior to issuance of a Final Certificate of Occupancy for the first unit

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